

**PLEASANT PRAIRIE PLAN COMMISSION MEETING
VILLAGE HALL AUDITORIUM
9915 39th AVENUE
PLEASANT PRAIRIE, WISCONSIN
6:00 P.M.
APRIL 14, 2014**

AGENDA

1. Call to Order.
2. Roll Call.
3. Correspondence.
4. Citizen Comments.
5. New Business.
 - A. **PUBLIC HEARING AND CONSIDERATION OF A CONCEPTUAL PLAN** for the request of Mark Molinaro, Jr. of Partners In Design Architects, agent on behalf of the Hospice Alliance Foundation, Inc. owners of the property located at 10220 Prairie Ridge Blvd. and the vacant 8.6 acre property to the east for the future expansion of the Hospice facility and future commercial development.
 - B. Consider the request of Mark Molinaro, Jr. of Partners In Design Architects, agent on behalf of the Hospice Alliance Foundation, Inc. owners of the property located at 10220 Prairie Ridge Blvd. and the vacant 8.6 acre property to the east for approval of a **Certified Survey Map**.
 - C. **PUBLIC HEARING AND CONSIDERATION OF ZONING MAP AND TEXT AMENDMENTS** for the request of Mark Molinaro, Jr. of Partners In Design Architects, agent on behalf of the Hospice Alliance Foundation, Inc. owners of the property located at 10220 Prairie Ridge Blvd. and a portion of the vacant 8.6 acre property to the east to rezone a portion of the vacant land into the I-1 (PUD), Institutional District with a Planned Unit Development Overlay District for the future expansion of the Hospice facility; and a Zoning Text Amendment to create the specific PUD zoning regulations for the development.
 - D. Consider the request of Mark Molinaro, Jr. of Partners In Design Architects, agent on behalf of the Hospice Alliance Foundation, Inc. for approval of **Site and Operational Plans** to expand the parking for their facility located at 10220 Prairie Ridge Blvd.
 - E. Consider approval of a **Certified Survey Map** to combine the Village owned properties located at 9915 39th Avenue and the vacant property to the north and to dedicate additional right-of-way for the future 39th Avenue and Springbrook Road roadway improvements.
6. Adjourn.

It is possible that members and possibly a quorum of members of other governmental bodies of the municipality may be in attendance in the above stated meeting to gather information; no action will be taken by any other governmental body except the governing body noticed above.

The Village Hall is handicapped accessible. If you have other special needs, please contact the Village Clerk, 9915 39th Avenue, Pleasant Prairie, WI (262) 694-1400.

**THESE ITEMS ARE RELATED AND WILL BE DISCUSSED AT THE SAME TIME
HOWEVER SEPARATE ACTION IS REQUIRED.**

- A. **PUBLIC HEARING AND CONSIDERATION OF A CONCEPTUAL PLAN** for the request of Mark Molinaro, Jr. of Partners In Design Architects, agent on behalf of the Hospice Alliance Foundation, Inc. owners of the property located at 10220 Prairie Ridge Blvd. and the vacant 8.6 acre property to the east for the future expansion of the Hospice facility and future commercial development.

Recommendation: Village staff recommends that the Plan Commission send a favorable recommendation to the Village Board to approve the **Conceptual Plan** subject to compliance with the comments and conditions of the Village Staff Report of April 14, 2014.

- B. Consider the request of Mark Molinaro, Jr. of Partners In Design Architects, agent on behalf of the Hospice Alliance Foundation, Inc. owners of the property located at 10220 Prairie Ridge Blvd. and the vacant 8.6 acre property to the east for approval of a **Certified Survey Map**.

Recommendation: Village staff recommends that the Plan Commission send a favorable recommendation to the Village Board to approve the **Certified Survey Map** subject to compliance with the comments and conditions of the Village Staff Report of April 14, 2014.

- C. **PUBLIC HEARING AND CONSIDERATION OF ZONING MAP AND TEXT AMENDMENTS** for the request of Mark Molinaro, Jr. of Partners In Design Architects, agent on behalf of the Hospice Alliance Foundation, Inc. owners of the property located at 10220 Prairie Ridge Blvd. and a portion of the vacant 8.6 acre property to the east to rezone a portion of the vacant land into the I-1 (PUD), Institutional District with a Planned Unit Development Overlay District for the future expansion of the Hospice facility; and a Zoning Text Amendment to create the specific PUD zoning regulations for the development.

Recommendation: Village staff recommends that the Plan Commission send a favorable recommendation to the Village Board to approve the **Zoning Map and Text Amendments** as presented in the Village Staff Report of April 14, 2014.

- D. Consider the request of Mark Molinaro, Jr. of Partners In Design Architects, agent on behalf of the Hospice Alliance Foundation, Inc. for approval of **Site and Operational Plans** to expand the parking for their facility located at 10220 Prairie Ridge Blvd.

Recommendation: Village staff recommends that the Plan Commission approve the **Site and Operational Plans** subject to compliance with the comments and conditions of the Village Staff Report of April 14, 2014.

VILLAGE STAFF REPORT OF APRIL 14, 2014

CONSIDERATION OF A CONCEPTUAL PLAN for the request of Mark Molinaro, Jr. of Partners In Design Architects, agent on behalf of the Hospice Alliance Foundation, Inc. owners of the property located at 10220 Prairie Ridge Blvd. and the vacant 8.6 acre property to the east for the future expansion of the Hospice facility and future commercial development.

Consider the request of Mark Molinaro, Jr. of Partners In Design Architects, agent on behalf of the Hospice Alliance Foundation, Inc. owners of the property located at 10220 Prairie Ridge Blvd. and the vacant 8.6 acre property to the east for approval of a **Certified Survey Map**.

CONSIDERATION OF ZONING MAP AND TEXT AMENDMENTS for the request of Mark Molinaro, Jr. of Partners In Design Architects, agent on behalf of the Hospice Alliance Foundation, Inc. owners of the property located at 10220 Prairie Ridge Blvd. and a portion of the vacant 8.6 acre property to the east to rezone a portion of the vacant land into the I-1 (PUD), Institutional District with a Planned Unit Development Overlay District for the future expansion of the Hospice facility; and a Zoning Text Amendment to create the specific PUD zoning regulations for the development.

Consider the request of Mark Molinaro, Jr. of Partners In Design Architects, agent on behalf of the Hospice Alliance Foundation, Inc. for approval of **Site and Operational Plans** to expand the parking for their facility located at 10220 Prairie Ridge Blvd.

THESE ITEMS ARE RELATED AND WILL BE DISCUSSED AT THE SAME TIME HOWEVER SEPARATE ACTIONS ARE REQUIRED.

The petitioners are requesting several approvals related to the proposed parking lot expansion at the Hospice House located at 10220 Prairie Ridge Blvd and the future development to the east.

The Hospice Alliance Foundation (Hospice) has been operating an eight (8) residential bed facility known as the Hospice House at 10220 Prairie Ridge Boulevard since 2003. In December of 2013, Hospice purchased 8.6 acres of vacant land adjacent to their property to the east (known as Lot 3 of CSM 2602). Hospice purchased the additional property for the singular, immediate purpose of constructing additional parking for their existing facility.

In the initial phase, Hospice proposes to combine a portion of the new property with the existing Hospice House property for the purpose of expanding the available number of parking spaces for the Hospice House through approval of a Certified Survey Map (being considered at tonight's meeting). The remainder of the land could be further developed as shown on the Conceptual Plan; however, there are no immediate plans to proceed with the development of this area at this time.

CERTIFIED SURVEY MAP: The Certified Survey Map reconfigures the Hospice property with the vacant land to the east, which will allow for the additional parking to be constructed on the Hospice House property on the north portion of the newly added land, along with a shared ingress/egress road connecting to Prairie Ridge Boulevard. The CSM provides for a 35-foot wide ingress, egress and cross access easement to be shared with both Lots 1 and 2 of the CSM. This shared access road will align with 100th Avenue and will provide for a full ingress/egress to the Hospice House property, where currently only a right-in/right-out driveway exists. In addition, the CSM also dedicates a 20-foot wide

sidewalk, access and maintenance easement along the eastern area of Lot 2 for a future public sidewalk connection from Prairie Ridge Boulevard north to the Shoppes of Prairie Ridge commercial development. This sidewalk will be required to be installed when Lot 2 is developed.

Lot 1 is proposed to be approximately 6-acres with 418 feet of frontage on Prairie Ridge Boulevard and Lot 2 is proposed to be approximately 5 acres with over 500 feet of frontage on Prairie Ridge Boulevard. Lot 1 is proposed to be rezoned to I-1 (PUD), Institutional District with a Planned Unit Development Overlay District. See below for future discussion related to the Zoning Map and Text Amendments. Lot 2 will remain in its current zoning designation of B-2 (PUD), Community Business District with a Planned Unit Development Overlay District at this time.

CONCEPTUAL PLAN: With an approval of any land division, a Conceptual Plan is required to ensure that the vacant land can be developed in an orderly and well planned manner in the future. As noted above, Hospice does not have immediate plans for the development of eastern portion of Lot 1 or Lot 2.

Lot 1: As indicated by Hospice, there are several potential directions the organization could go to expand the services they provide to the greater Kenosha County community. The Conceptual Plan indicates one potential scenario which includes the construction of a new 16-24 bed residential hospice facility capable of providing acute symptom care to the expanded patient population. This option would result in two buildings on Lot 1. [Note: If a second facility is constructed, Site and Operational Plans will need to be submitted for review and approval by the Village Plan Commission.]

If a second building is built, the criteria for patient admission would remain consistent with the current admission requirements, which are 60 days or less of life expectancy and the need for 24/7 care. The facility will be staffed with registered nurse coverage 24/7. The new facility shown on the Conceptual Plan provides for a maximum of 24 beds, 10 employees on the largest shift and two (2) doctors/staff maximum at any given time.

All eight (8) of the residential beds in the existing building could be eliminated with the entire existing facility being renovated into an administration building for the Hospice Alliance Foundation. The maximum number of employees on the largest shift in the administration building is projected to be 35.

Lot 2: At this point, Hospice has no intended use contemplated for the property and will be actively marketing the property for sale. The Conceptual Plans provide that Lot 2 would be capable of supporting two (2) additional buildings and have the potential to be subdivided into two (2) parcels.

SITE AND OPERATIONAL PLANS: The petitioners are requesting approval of Site and Operational Plans for the parking lot expansion of the Hospice House. While the existing Hospice House meets the minimum number of on-site parking spaces, the proposed parking lot is intended to provide additional parking for the visitors and staff during peak times as well as to accommodate the annual auto show fundraiser held by Hospice.

The current Hospice House is approximately 19,600 square feet with a 16,725 square foot basement. There are 25 parking spaces and two (2) handicapped accessible parking spaces in the front of the building and 40 parking spaces and two (2) handicapped accessible parking spaces in the rear of the building. The facility has a daily staff count of approximately 40 staff on the largest shift with the exception of one (1) day a week when the number could reach 50. The parking area in the front of the building is proposed to remain unchanged. The 42 parking spaces in the rear of the building are proposed to be reconfigured and additional parking is proposed to the east with access to 100th Avenue

within the cross access easement as discussed above. The parking in the rear of the building will include 135 total parking spaces.

ZONING MAP AND TEXT AMENDMENTS: The existing Hospice House property is zoned I-1 (PUD) and the 8.6 acre property to the east is zoned B-2 (PUD). Lot 1 is proposed to be rezoned so that the entire property is zoned I-1 (PUD). Lot 2 will remain in the B-2 (PUD) Zoning Districts.

Lot 2 will remain under the PUD requirements specified in the Shoppes of Prairie Ridge PUD adopted as Ord. #07-29 in 2007. Lot 1 and Lot 2 will also remain under the PUD requirements specified in the Prairie Ridge PUD adopted as Ord. #07-28 in 2007. A separate PUD is proposed to be created for Lot 1 of the proposed CSM for the Hospice development.

Currently all the dimensional requirements of the I-1 District are being met, so no dimensional variations are being provided in the PUD. However, an amendment to the PUD with the development of a second building on this property or a building addition greater than 500 square feet to the existing building will require the installation of a Digital Security Imaging System (DSIS) pursuant to the Chapter 410 of the Village Municipal Code. In addition, the owners will also be required to provide a DSIS Access Easement pursuant to the Chapter 410 of the Village Municipal Code.

2035 Comprehensive Plan Amendment: The Village Comprehensive Plan will be required to be updated to correctly identify that Lot 1 of the proposed CSM will be located within the Government and Institutional land use designation to ensure that both the Zoning Map and the Comprehensive Land Use Plan are consistent. Currently the Land Use Plan indicates this property within the Community Commercial land use designation. A written request shall be submitted with an application fee of \$225 to amend the Village 2035 Comprehensive Land Use Plan Map for the required hearing to be scheduled.

RECOMMENDATIONS

Item A: Village staff recommends that the Plan Commission send a favorable recommendation to the Village Board to approve the Conceptual Plan subject to the above comments and the following conditions:

1. The Conceptual Plan approval will be valid for a period of one (1) year.
2. Submittal of a request and the required \$225 application fee to amend the Village Comprehensive Land Use Plan shall be to the Village by July 1, 2014 for the required amendment. As noted in the staff comments above, the Village Comprehensive Land Use Plan will be required to be updated to correctly identify that Lot 1 of the proposed CSM will be located within the Government and Institutional land use designations to ensure that both the zoning map and the comprehensive land use plan are consistent. Currently the Land Use Plan indicates this property within the Community Commercial land use designation.
3. Prior to the development of each lot, detailed Site and Operational Plans are required to be submitted and approved by the Plan Commission pursuant to Article IX of the Village Zoning Ordinance. Also, depending on the use proposed, the occupants may require a Conditional Use Permit along with Site and Operational Plan approval from the Plan Commission. In addition, it may require approval of special licenses by the Village.

4. The future development of the lots and structures shall comply with the ordinances in effect at the time of construction. In addition, detailed Site and Operational Plans are required to be submitted for review and approval prior to any development pursuant to the requirements for the Village Zoning Ordinance.
5. At the time that each lot is proposed to be developed for commercial/institutional purposes, detailed landscaping plans will be required to be submitted and reviewed. All landscaped areas will be required to be irrigated with a sprinkler system. The base map for these landscape plans shall include the approved grading plan. In addition, the location of all pedestals and transformers and proposed screening shall be shown on the Site and Operational Plans required for each development site.
6. Landscaping and parking lot islands will be required pursuant to the Village Ordinance requirements. In particular, landscaping between parking areas and roadways shall comply with Section 420-57 J (2) (d) of the Village Zoning Ordinance that states "*Parking lots associated with business or institutional uses shall be screened from public rights-of-way and/or residential zoning districts located within 50 feet of such parking lots; such screening shall be installed in close proximity to the parking lot and shall be 75% opaque to a height of at least four (4) feet above the grade of the nearest edge of such parking lot within three (3) years of installation and may consist of shrubs and trees, an appropriately landscaped undulating berm...*" Revise the plans. Review and place similar quantity, quality and size landscaping as shown in the Shoppes at Prairie Ridge.
7. Each Lot is required to have a primary monument sign. Secondary entrance signs (entry monument signs) may be allowed. All signage shall conform to the provisions of the PUD Ordinances and all general requirements of the Village Sign Ordinance (Chapter 420 Article X).
8. All commercial buildings will be required to install a sanitary sewer sampling manhole. The location and details shall be shown on the Site and Operational Plans required for each site.
9. All downspouts for all proposed buildings within the development shall be interconnected to the private storm sewer system and shown on the required Site and Operational Plans.
10. Impact fees shall be paid prior to issuance of the building permit. (Currently based upon \$1.94 per \$1,000 of valuation as determined by the Village Assessing Department).
11. Real Estate Marketing Signs are permitted only by permit pursuant to the requirements of Article X of Chapter 420.
12. Municipal connection fees shall be paid prior to the connections of each building to the sanitary sewer system.
13. This development shall be in compliance with the Village Land Division and Development Control Ordinance, the Village Municipal and Zoning Codes, the Village Construction Site Maintenance and Erosion Control Ordinance and the State of Wisconsin Statutes.
14. Written approval from the Prairie Ridge Commercial Owners Association is required for any parking lot or building development plans. A copy of the written approval shall be provided to the Village prior to issuance of any building or erosion control permits.

Item B: Village staff recommends that the Plan Commission send a favorable recommendation to the Village Board to approve the **Certified Survey Map** subject to compliance with the above comments and the following conditions:

1. The changes as noted on the **attached** CSM and in the staff comments shall be made and a revised draft shall be submitted to the Village staff for review. Additional dedication and easement language shall be added to the CSM as noted.
2. Any outstanding taxes or special assessments shall be paid in full prior to executing and recording the CSM at the Kenosha County Register of Deeds Office.
3. The CSM shall be executed and recorded and a recorded copy provided to the Village within 30 days of Village Board approval.

Item C: Village staff recommends that the Plan Commission send a favorable recommendation to the Village Board to approve the **Zoning Map and Text Amendments** as presented.

Item D: Village staff recommends that the Plan Commission approve the **Site and Operational Plans** subject to compliance with the above comments and the following conditions:

1. Subject to the approval of the Conceptual Plan, CSM and Zoning Text and Map Amendments, to be considered by the Village Board on April 21, 2014
2. Submittal of a request and the required \$225 application fee to amend the Village Comprehensive Plan shall be to the Village by July 1, 2014 for the required amendments. As noted in the staff comments above, the Village Comprehensive Land Use Plan will be required to be updated to correctly identify that Lot 1 of the proposed CSM will be located within the Government and Institutional land use designations to ensure that both the zoning map and the comprehensive land use plan are consistent. Currently the Land Use Plan indicates this property within the Community Commercial land use designation.
3. The Plans have been reviewed for conformance with generally accepted engineering practices and Village policies. Although the data has been reviewed, the design engineer is responsible for the thoroughness and accuracy of plans and supplemental data and for their compliance with all State and local codes, ordinances, and procedures. Modifications to the plans, etc. may be required should errors or changed conditions be found at a future date and detailed engineering plans are prepared and reviewed. **The following changes shall be made to the Site and Operational Plans and three (3) revised plans shall be submitted for final staff review and approval.**
 - a. Provide the number of existing parking spaces and proposed parking spaces on the cover sheet.
 - b. Dimension the setback of the existing parking lot to the north and west property lines.
 - c. Dimension the setback of the newly proposed parking lot to the north property line.
 - d. Plan Sheet A1.1 depicts curb and gutter along the south side of the new east parking area, while Plan Sheet C-4.0 depicts no curb and gutter in this location due to the possible construction of "25 future parking spaces". Either this area needs to be curbed and guttered with the construction of the expanded parking,

or construct the 25 spaces with this parking lot expansion project and install the curb and gutter with the 25 spaces.

- e. An additional one or two parking lot landscaped peninsula(s) needs to be added along the northernmost tier of parking spaces.
- f. Note on the plans that the 5' concrete sidewalk on Lot 2 shall be installed when Lot 2 is developed.
- g. Install lighting along the new north-south shared access road located along the new Lot 1 and Lot 2 property line. Details shall be shown on the plans and approved.

Based on a Village staff site visit, it appears that all of the other commercial/institutional uses along Prairie Ridge Boulevard have a bronze or black shoebox type parking lot light fixture. As such, a shoebox type fixture will be acceptable. All lights within the Hospice development must be the same however – with respect to the color, intensity and height. It looks like Grande Prairie might have recently replaced their lights – attached are photos. If Hospice lights are replaced, the height of the lights should be maximum of 20-25 feet. The existing lights seem very tall in comparison with adjacent properties.

- h. For clarity, the dashed property lines on the plan set that will dissolve with the approval of the CSM should be labeled as such.
- i. Show the location of the existing sampling sewer manhole. If a sampling manhole does not exist, then one shall be installed pursuant to the Village Specifications. Contact John Steinbrink, Jr. Public Works Director at 262-925-6700.
- j. **Site Grading & Erosion Control Plan**
 - i. Check and correct the contour elevation label around CB -13. It is currently labeled as 703 (supposed to be 704?).
 - ii. Adjust the plan as needed to provide positive drainage north of new parking lot within the green space. Currently the curb grades show that drainage will be trapped.
 - iii. Adjust the plan as needed to provide positive drainage by the new east access road, west side between the curb and the 704 contour. As shown it appears the drainage will be trapped behind the curb.
- k. **Site Utility Plan**
 - i. Show leader notes for existing sanitary and storm manhole adjustments. Adjustment shall be to Village specifications. A copy of Village specifications for manhole adjustments is ***attached***.
 - ii. Show the correct storm manhole detail (see ***attached***).
 - iii. Further investigation is needed regarding what the existing 12-inch stand pipe is and what is being done with it or proper abandonment specifications etc. (Is this an old well?)
 - iv. Eliminate the reference to the Racine Water utility in utility note number 4.
 - v. The lead for the hydrant relocation shall be Ductile Iron (Class 53). The plans shall be corrected accordingly.

- vi. Provide a copy of the storm sewer calculations. Identify what pipes are sized for future roof drainage. Also, the existing offsite drainage from the east shall be included in the pipe sizing calculations or addressed.
- vii. Place a note stating that all existing water valves for public water main and / or hydrants will be operated by or under the supervision of the Village of Pleasant Prairie Public Works Department.
- viii. The plans show an existing storm manhole within the new curb line by the entrance near the sidewalk. This situation needs to be addressed. The manhole casting / cover shall not be in the curb.
- ix. Place a note on the plans stating that all work on Village owned public infrastructure (hydrant relocation, manhole adjustments, sidewalk, curb and gutter etc.) shall inspected by the Engineering Department. Contractor shall coordinate and schedule inspections with the Engineering Department (262-948-8951) prior to performing work.

l. Site Layout and Pavement ID Plan

- i. The new drive entrance to Prairie Ridge Boulevard shall have a depressed curb. Also, a concrete drive approach shall be provided up to the sidewalk. The plans shall be revised accordingly and details provided.
- ii. The new drive entrance curb radii seem tight and should be increased.
- iii. The Village has no objection to installing a single lift of asphalt now along the new aces road now to allow for use of the road for any future development on the properties (Lot 1 and 2) and installing the final lift when the development are complete provided the following conditions and clarifications are provided:
 - Specify what the binder thickness is.
 - Public manholes will need to be set to ¼-inch below binder grade, and then adjusted a second time to final grade at the time of final paving.
 - Will the curb inlet be initially set to binder grade? Address in plans.
 - The asphalt at the edge of the sidewalk will need to be temporarily ramped with the binder lift.

m. Site Details

- i. Revise the driveway entrance detail to match existing site conditions and specifications.
 - ii. Replace the hydrant assembly detail with the Village’s updated detail, a copy of which is ***attached***.
- 4. The existing sanitary sewer shall be televised by the Village of Pleasant Prairie and the owner shall make any repairs prior to hard surface installed. Contact Village Public Works Department at 262-925-6700 to request the televising. *Note on the plans.*
 - 5. Upon approval of the revised plans, an electronic pdf of all plans shall be submitted to the Village with three (3) full size copies of the plans.
 - 6. Written approval from the Prairie Ridge Commercial Owners Association is required for any parking lot expansion. A copy of the written approval shall be provided to the Village prior to issuance of the required permits.

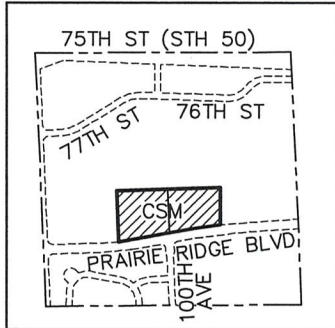
7. Upon approval of the revised plans the following permits are required for the parking lot expansion project:
 - a. A Village Right-of-Way permit will be required for this project.
 - b. An Erosion Control Permit will be required for this project.
 - c. An external plumbing permit is required for the private storm sewer construction.
 - d. An electrical permit is required for the installation of all parking lot lighting.
8. Each handicapped parking space shall be appropriately signed and painted on the pavement pursuant to ADA requirements.
9. All required landscaping shall be installed and a written letter of verification and certification shall be provided to the Village by the landscape designer that all landscaping has been installed in accordance with the approved landscape plan.
10. The hours of construction activity, operating heavy machinery or equipment associated with the grading, erosion control device installation, and overall site development shall be limited to Monday through Friday from 7:00 a.m. to 9:00 p.m. and Saturday and Sunday from 8:00 a.m. to 6:00 p.m.
11. There shall be no construction parking permitted on Prairie Ridge Blvd or 100th Street. On-site (off-street) parking shall be designed to accommodate all construction related workers and site visitors.
12. The Village shall approve of the location of all construction trailers parked on the site during construction activities. No construction trailers shall be parked in any rights-of-way. All construction related signage shall be approved and permitted by the Village.
13. Upon completion of the project an as-built graphical data of all sewer, water, and storm sewer facilities shall be provided to update the Village's Geographical Information System. Information shall conform to the Village's format requirements.
14. Upon completion of the project, a record drawing of the utility plan will be required to reflect actual construction records and utility alignments. The record drawing shall be prepared by the Engineer of Record for the project.
15. Upon completion of the project, and as-built site plans, stamped by a Wisconsin Registered Land Surveyor, shall be submitted to the Village to verify that and all impervious surfaces meet the minimum setbacks and that all pavement markings were installed per the approved site plans and the grading of the site was completed pursuant to the approved Site and Operational Plans.
16. No use shall be conducted in such a way as to constitute a public or private nuisance or to violate any of the performance standards set out in Section 420-38 of the Village Zoning Ordinance.
17. This development shall be in compliance with the Ordinance, the Village Municipal and Zoning Codes, the Village Construction Site Maintenance and Erosion Control Ordinance and the State of Wisconsin Statutes.
18. All Village fees incurred by the Village Engineer, Village Inspectors and/or expert Assistants required by the Village throughout the development process will be billed directly to the Developer. Such fees shall be paid in a timely manner.

19. All Village fees incurred by the Village Community Development Department and/or expert Assistants required by the Village throughout the development process will be billed directly to the Developer. Such fees shall be paid in a timely manner.

CERTIFIED SURVEY MAP No. _____

BEING A REDIVISION OF LOT 2 OF CERTIFIED SURVEY MAP NO. 2314, LOT 2 OF CERTIFIED SURVEY MAP NO. 2514 AND LOT 3 OF CERTIFIED SURVEY MAP NO. 2602, LOCATED IN THE SOUTHEAST 1/4 AND THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 8, TOWNSHIP 1 NORTH, RANGE 22 EAST, VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN

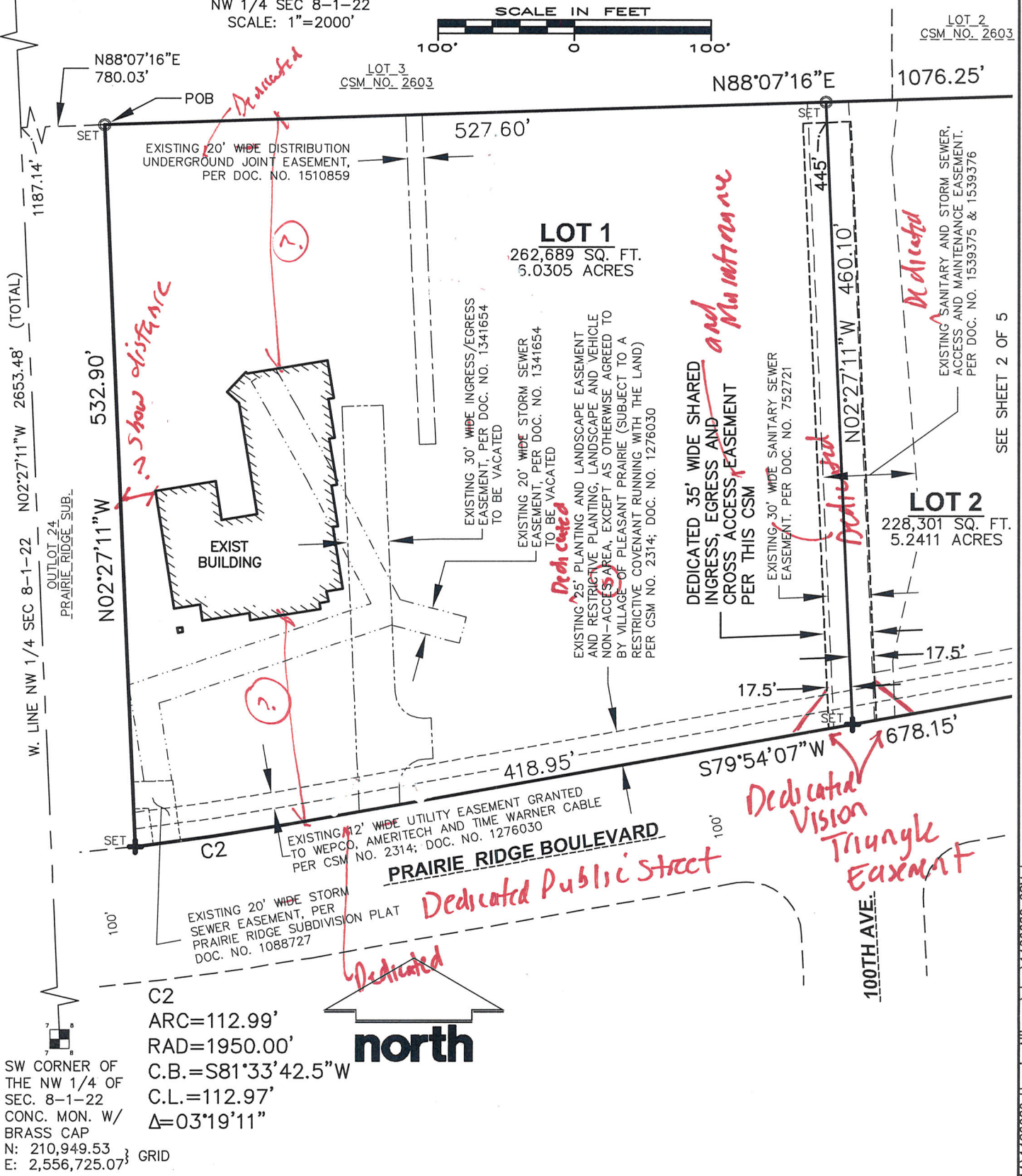
NW CORNER OF THE NW 1/4 OF SEC. 8-1-22 CONC. MON. W/ BRASS CAP
N: 213,600.59 } GRID
E: 2,556,611.50 }



LOCATION MAP
NW 1/4 SEC 8-1-22
SCALE: 1"=2000'

PREPARED FOR:
HOSPICE ALLIANCE
FOUNDATION, INC
10220 PRAIRIE RIDGE BLVD.
PLEASANT PRAIRIE, WI 53158
PREPARED BY:

JSD Professional Services, Inc.
Engineers • Surveyors • Planners
MILWAUKEE REGIONAL OFFICE
N22 W22931 NANCY'S COURT SUITE 3
WAUKESHA, WISCONSIN 53186
262.513.0666 PHONE | 262.513.1232 FAX



SW CORNER OF THE NW 1/4 OF SEC. 8-1-22 CONC. MON. W/ BRASS CAP
N: 210,949.53 } GRID
E: 2,556,725.07 }

C2
ARC=112.99'
RAD=1950.00'
C.B.=S81°33'42.5"W
C.L.=112.97'
Δ=03°19'11"

DATED THIS _____ DAY OF MARCH, 2014
THIS INSTRUMENT WAS DRAFTED BY RIZAL W. ISKANDARSJACH, S-2738

SEE SHEET 2 OF 5

R:\2014\14C6080 HospiceAlliance\dwg\14C6080 CSM.dwg

CERTIFIED SURVEY MAP No. _____

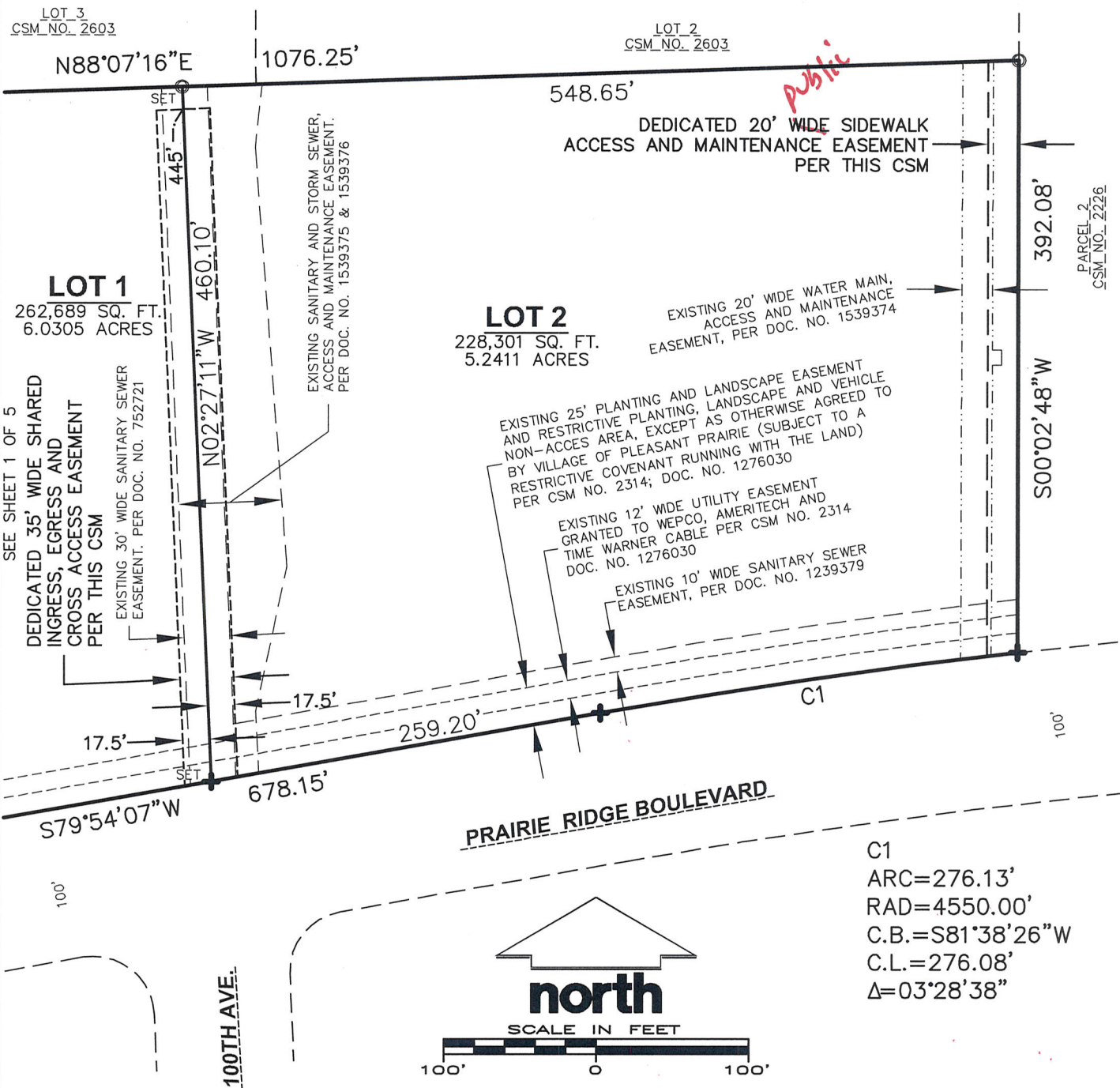
BEING A REDIVISION OF LOT 2 OF CERTIFIED SURVEY MAP NO. 2314, LOT 2 OF CERTIFIED SURVEY MAP NO. 2514 AND LOT 3 OF CERTIFIED SURVEY MAP NO. 2602, LOCATED IN THE SOUTHEAST 1/4 AND THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 8, TOWNSHIP 1 NORTH, RANGE 22 EAST, VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.

NOTES:

CSM NO. 2314 RECORDED ON JULY 19, 2002 AT KENOSHA CO. REGISTER OF DEEDS AS DOC. 1276030.
 CSM NO. 2514 RECORDED ON MARCH 23, 2006 AT KENOSHA CO. REGISTER OF DEEDS AS DOC. 1473614.
 CSM NO. 2602 RECORDED ON NOVEMBER 9, 2007 AT KENOSHA CO. REGISTER OF DEEDS AS DOC. 1539367.

LEGEND:

- 1" IRON PIPE FOUND & ACCEPTED
- + CHISELED CROSS FOUND & ACCEPTED
- SET + CHISELED CROSS SET
- SET ○ 1"x18" IRON PIPE SET WT. 1.13 LBS/LIN. FT.



BEARING BASIS
 ALL BEARINGS ARE REFERENCED TO THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE. THE WEST LINE OF THE NORTHWEST 1/4 OF SECTION 8, TOWNSHIP 1 NORTH, RANGE 22 EAST, WAS USED AS NORTH 02°27'11" WEST

PROJECT CONVERSION FACTOR: GRID/1.00000319 = GROUND

SUBJECT TO EASEMENTS OF RECORD.

ALL MEASUREMENTS HAVE BEEN MADE TO THE NEAREST ONE-HUNDREDTH OF A FOOT.

ALL ANGULAR MEASUREMENTS HAVE BEEN MADE TO THE NEAREST ONE SECOND.

DATED THIS _____ DAY OF MARCH, 2014
 THIS INSTRUMENT WAS DRAFTED BY RIZAL W. ISKANDARSJACH, S-2738

R:\2014\14C6080 HospiceAlliance\dwg\14C6080 CSM.dwg

CERTIFIED SURVEY MAP No. _____

BEING A REDIVISION OF LOT 2 OF CERTIFIED SURVEY MAP NO. 2314, LOT 2 OF CERTIFIED SURVEY MAP NO. 2514 AND LOT 3 OF CERTIFIED SURVEY MAP NO. 2602, LOCATED IN THE SOUTHEAST 1/4 AND THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 8, TOWNSHIP 1 NORTH, RANGE 22 EAST, VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.

NEW EASEMENT DEDICATIONS:

DEDICATED 35' ~~WIDE~~ SHARED INGRESS, EGRESS AND CROSS ACCESS EASEMENT

A perpetual nonexclusive easement coextensive with the area shown as a Dedicated 35' ~~Wide~~ Shared Ingress, Egress and Cross Access Easement on Lot 1 and Lot 2 of this Certified Survey Map is hereby dedicated, given, granted and conveyed by Hospice Alliance Foundation, Inc. to the Owner(s) of said Lot 1 and Lot 2 and the Village for vehicular ingress, egress and cross access purposes. This Dedicated 35' Wide Shared Ingress, Egress and Cross Access Easement shall be exclusive, except for: (1) the Existing 30' Wide Sanitary Sewer Easement as dedicated on Document No. 752721 with respect to the same area or any portion thereof and (2) Existing Sanitary and Storm Sewer Access and Maintenance Easement as dedicated on Document Nos. 1539375 and 1539376 with respect to the same area or any portion thereof. In the event of any conflict between the rights of the Owner(s) of said Lot 1 and Lot 2, the rights of the Village or other entities with respect to the Dedicated 35' Wide Shared Ingress, Egress and Cross Access Easement, the Village's rights under the easement shall be deemed to be superior. Unless the Village exercises the rights granted to it hereunder with respect to the easement, the Village shall have no obligation to do anything pursuant to its rights under these easement. The Owner(s) of said Lot 1 and Lot 2 shall be responsible for all costs associated with the construction, snow plowing and maintenance of the private access drives and associated pavement and landscaping improvements.

DEDICATED 20' ~~WIDE~~ SIDEWALK ACCESS AND MAINTENANCE EASEMENT

A perpetual nonexclusive easement coextensive with the area shown as a Dedicated 20' ~~Wide~~ Sidewalk, Access and Maintenance Easement on Lot 2 of this Certified Survey Map is hereby dedicated, given, granted and conveyed by Hospice Alliance Foundation, Inc. to the Village for ^{Public} pedestrian walkway, bicycle, access, uses and purposes, and for all related ingress and egress, construction, installation, repair, alteration, replacement and maintenance activities. This Dedicated 20' Wide Sidewalk, Access and Maintenance Easement shall be exclusive, except for: (1) the Existing 20' Wide Water Main, Access and Maintenance Easement as dedicated on Document No. 1539374 with respect to the same area or any portion thereof and (2) the Owner's use, planting and irrigation, care and maintenance of the Sidewalk, Access and Maintenance Easement area on Lot 2, as it will not interfere with the improvements, uses and purposes of the Village. In the event of any conflicts between the rights of the Village pursuant to this Easement and the rights of any other persons or entities with respect of this Easement, the Village's rights under this Easement shall be deemed to be superior.

add missing Dedication Language

CERTIFIED SURVEY MAP No. _____

BEING A REDIVISION OF LOT 2 OF CERTIFIED SURVEY MAP NO. 2314, LOT 2 OF CERTIFIED SURVEY MAP NO. 2514 AND LOT 3 OF CERTIFIED SURVEY MAP NO. 2602, LOCATED IN THE SOUTHEAST 1/4 AND THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 8, TOWNSHIP 1 NORTH, RANGE 22 EAST, VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE:

State of Wisconsin)
) SS
Kenosha County)

I, Rizal W. Iskandarsjach, Registered Land Surveyor, do hereby certify that I have surveyed, divided, dedicated and mapped a redivision of Lot 2 of Certified Survey Map No. 2314, Lot 2 of Certified Survey Map No. 2514 and Lot 3 of Certified Survey Map No. 2602, located in the Southeast 1/4 and the Southwest 1/4 of the Northwest 1/4 of Section 8, Township 1 North, Range 22 East, Village of Pleasant Prairie, Kenosha County, Wisconsin, bounded and described as follows:

Commencing at the southwest corner of the Northwest 1/4 of said Section 8; thence North 02°27'311" West along the west line of said Northwest 1/4 section, 1187.14 feet to the westerly extension of the south line of Lot 3 of Certified Survey Map No. 2603; thence North 88°07'16" East along said extension line and then along said south line, 780.03 feet to the northwest corner of Lot 2 of Certified Survey Map No. 2514 and the point of beginning;

Thence continuing North 88°07'16" East along the south line of said Certified Survey Map No. 2603, 1076.25 feet to the west line of Parcel 2 of Certified Survey Map No. 2226; thence South 00°02'48" West along said west line, 392.08 feet to the north line of Prairie Ridge Boulevard and a point on a curve; thence southwesterly 276.13 feet along said north line and along the arc of said curve to the left whose radius is 4550.00 feet and whose chord bears South 81°38'26" West, 276.08 feet to a point of tangency; thence South 79°54'07" West along said north line, 678.15 feet to a point of curve; thence southwesterly 112.99 feet along said north line and along the arc of said curve to the right whose radius is 1950.00 feet and whose chord bears South 81°33'42.5" West, 112.97 feet to the southeast corner of Outlot 24 of Prairie Ridge Subdivision; thence North 02°27'11" West along the east line of said Outlot 24, 532.90 feet to the point of beginning.

Containing in all 490,990 square feet (11.2716 acres) of lands, more or less.

All subject to easements and restrictions of record, if any.

That I have made such survey, land division and map by the direction of HOSPICE ALLIANCE FOUNDATION, INC, owner of said land.

That such map is a correct representation of all exterior boundaries of the land surveyed and the land division thereof made.

That I have fully complied with the provisions of Chapter 236 of the Wisconsin Statutes and the Village of Pleasant Prairie Land Division and Development Control Ordinance in surveying, dividing, dedicating and mapping the same.

DATED THIS _____ DAY OF MARCH, 2014

Rizal W. Iskandarsjach, R.L.S.
Registered Land Surveyor, S-2738

CERTIFIED SURVEY MAP No. _____

BEING A REDIVISION OF LOT 2 OF CERTIFIED SURVEY MAP NO. 2314, LOT 2 OF CERTIFIED SURVEY MAP NO. 2514 AND LOT 3 OF CERTIFIED SURVEY MAP NO. 2602, LOCATED IN THE SOUTHEAST 1/4 AND THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 8, TOWNSHIP 1 NORTH, RANGE 22 EAST, VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.

OWNER'S CERTIFICATE

HOSPICE ALLIANCE FOUNDATION, INC, as owner, does hereby certify that said company caused the land described in the foregoing affidavit of Rizal W. Iskandarsjach, to be surveyed, divided, dedicated and mapped as represented on this map, in accordance with the provisions of Chapter 236 of the Wisconsin Statutes and the Village of Pleasant Prairie Land Division and Development Control Ordinance in surveying, dividing, dedicating and mapping.

HOSPICE ALLIANCE FOUNDATION, INC

_____ (sign) _____ (date)
_____ (print)
_____ (title)

_____ (sign) _____ (date)
_____ (print)
_____ (title)

State of _____)
_____) SS
_____ County)

Personally came before me this _____ day of _____, 2014, the above named _____, _____, and _____, of the above named company, to me known to be such _____ and _____ of said company, and acknowledged that they executed the foregoing instrument as such officers as the deed of said corporation by its authority.

Notary Public, _____ County, _____
My Commission Expires _____

VILLAGE PLAN COMMISSION APPROVAL

This Certified Survey Map is hereby approved by the Plan Commission of the Village of Pleasant Prairie on this _____ day of _____, 2014.

THOMAS W. TERWALL
Chairman of Village Plan Commission

VILLAGE BOARD APPROVAL

Resolved that this Certified Survey Map, being a redivision of Lot 2 of Certified Survey Map No. 2314, Lot 2 of Certified Survey Map No. 2514 and Lot 3 of Certified Survey Map No. 2602, located in the Southeast 1/4 and the Southwest 1/4 of the Northwest 1/4 of Section 8, Township 1 North, Range 22 East, Village of Pleasant Prairie, Kenosha County, Wisconsin, having been approved by the Plan Commission being the same, is hereby approved and accepted by the Village Board of Trustees of the Village of Pleasant Prairie, on this _____ day of _____, 2014.

JOHN P. STEINBRINK
Village President

ATTEST:

JANE M. ROMANOWSKI
Village Clerk

ADDITIONAL DRAFT LANGUAGE to be added to the HOSPICE CSM DEDICATION AND EASEMENT LANGUAGE

1. DEDICATED PUBLIC STREET

The fee interest in the area shown as a Dedicated Public Street on this CSM was dedicated, given, granted and conveyed on the previous Prairie Ridge Subdivision Plat to the Village of Pleasant Prairie, its successors and assigns (referred to as the "Village") for the construction, installation, repair, alteration, replacement, and maintenance of public street improvements, uses and purposes, including, without limitation, street pavement, curbs and gutters, sidewalks, street signs, street lights, bike lanes, sanitary sewerage system improvements, water system improvements, storm sewer and drainage system improvements, mailboxes, utility and communications facilities, street terrace grading, placing topsoil and seeding, street trees and other landscaping, and for all related ingress and egress, construction, installation, repair, alteration, replacement, planting, maintenance, and access activities. Such fee interest is subject to the following: (1) a nonexclusive easement coextensive with the Dedicated Public Street area shown on this CSM and granted to the adjacent Lot Owners for street terrace grading, placing topsoil and seeding, street trees and other landscaping planting, the snow clearance, maintenance, repair and replacement of sidewalks in the area between the roadway and their properties, and for the construction, installation, repair, replacement, maintenance and use of such driveways in the area between the roadway and their properties as approved by the Village and as will not interfere with the public improvements, uses and purposes of the Village (all subject to the rights of the Village to perform the same planting, replanting, construction, installation, repair, clearance, maintenance and replacement functions); and (2) a nonexclusive easement for the Prairie Ridge Commercial Association, Inc. (hereinafter referred to as the "Association") for the planting and maintenance of grass and street trees, and the snow clearance, maintenance, repair and replacement of sidewalks in the area between the roadway and the properties, and for the construction, installation, repair, replacement, maintenance and use of such driveways in the area between the public roadway and the adjacent properties as approved by the Village and as will not interfere with the public improvements, uses and purposes of the Village (all subject to the rights of the Village, but not the obligation to perform the same planting, replanting, construction, installation, repair, clearance, maintenance and replacement functions and assess such costs to the abutting properties); and in the event of any conflict between the rights of the Village under its fee interest in the Dedicated Public Streets, the Association, or of the Lot Owner(s), pursuant to the easements retained herein, the rights of the Village shall be deemed to be superior.

The adjacent Lot Owners shall be responsible for all costs associated with the construction, installation, repair, alteration, replacement, planting and maintenance of the public sidewalks, and private driveways, public street lights energy and maintenance costs, mailboxes, utility and communications facilities, street terrace grading, placing topsoil and seeding, street trees and for all related ingress and egress, construction, installation, repair, alteration, replacement, planting and maintenance in accordance with the terms and conditions of the Village Land Division and Development Control Ordinance and obligations under the Development Agreement on file with the Village Clerk for the Village of Pleasant Prairie.

2. DEDICATED 12' UTILITY AND 20' DISTRIBUTION EASEMENTS

Easements coextensive with the areas shown as Dedicated Utility Easement areas on Lot 1 and Lot 2 of this CSM were dedicated, given, granted and conveyed to WE Energies, AT & T and Time Warner Cable Inc. and their respective successors and assigns (collectively, the "Utility and Communications Grantees") per recorded Document # 1276060 and #1510859, for the purposes of constructing, installing, operating, repairing, altering, replacing and maintaining utility and communication lines and other related facilities to serve the Lots, (or portions thereof) shown on this CSM and for any related ingress and egress. These easements shall also include the right to trim or cut down trees, bushes, branches, and roots as reasonably required interfering with the Utility and Communication Grantees use of the easement areas. To the extent possible, all such utility and communications lines and facilities shall be installed underground. Upon the installation of the utility cables and related appurtenances, the elevation of the existing ground surface within the easement areas shall not be altered by more than four (4) inches of final grade without the written approval of the Utility and Communications Grantees. Upon the installation of the utilities, the Lot Owner shall restore or cause to be restored, all such land, as nearly as is reasonably possible, to the condition existing prior to installing such utilities within the communication easement areas on which such easements are located as does not interfere with the purpose of the utility and communications easements and the use of such easements by the Utility and Communications Grantees unless a separate agreement is entered into between the Owner(s) and Grantees regarding the transfer of the restoration and maintenance responsibilities to the Grantees. No buildings, fences, or structures of any kind shall be placed within the utility and communications easement areas without the prior written approval of the Utility and Communication Grantees.

The Village generally allows private utilities, including but not limited to electric and communications facilities, to be installed in public street rights-of-way with prior written approval from the Village, subject to the requirements of applicable Village ordinances and the requirements of such public uses and purposes of the Village. Further, each individual private utility, electric or communications company shall be responsible for promptly restoring the public street areas to their pre-existing condition, at its own cost, after any use of such areas. In the event the private companies do not restore the public street areas to a vegetatively stabilized condition, the abutting Lot Owner(s) shall be ultimately responsible for the costs of such restoration and may pursue its remedies against the respective utility company(ies). Under no circumstances shall any private utility, electric or communications company conduct any open cutting of the public roadways after the crushed aggregate base course is installed without prior written approval of the Village. Any such private utility or communications facilities shall be promptly relocated, at the cost of the individual utility, electric or communications company, upon written request of the Village, to serve the public functions and purposes of the Village in the public street area. In the event of any conflict between the rights of the Village and the rights of the private utility, electric or communications company in such public street areas, the Village's rights shall be deemed to be superior.

3. DEDICATED 25' PLANTING AND LANDSCAPE EASEMENT AND RESTRICTIVE PLANTING, LANDSCAPE AND VEHICLE NON-ACCESS AREAS

Nonexclusive easements co-extensive with each area shown on Lot 1 and Lot 2 of this CSM as a Dedicated 25' Planting and Landscape Easement and Restrictive Planting, landscape and Vehicle Non-Access Area were dedicated, given, granted and conveyed per recorded Document #1276030 to the Village for the purposes of planting and installing trees, shrubs and other landscape elements and all related ingress and egress requirements, grading, replacement and maintenance activities. In the event of any conflict between the rights of the Owner(s) and the rights of the Village or other easement holder entities with respect to the dedicated planting and landscape easement and vehicle non-access area, the Village's rights under these easements shall be deemed to be superior. Notwithstanding such easements, the Village shall have no obligation to exercise its rights under these easements. The Owner shall be responsible for all costs associated with the of planting and installing trees, shrubs and other landscape elements and all related grading, replacement and maintenance activities within these nonexclusive easement areas and the access restrictions as noted.

4. DEDICATED 35' SHARED INGRESS, EGRESS AND CROSS ACCESS AND MAINTENANCE EASEMENT (see CSM for comments)

5. DEDICATED 20 SIDEWALK, ACCESS AND MAINTENANCE EASEMENT (see CSM for comments)

6. DEDICATED 30' SANITARY SEWER, ACCESS AND MAINTENANCE EASEMENT

Perpetual nonexclusive easements coextensive with the area shown on Lot 1 and Lot 2 of this CSM as a Dedicated 30' Sanitary Sewer, Access and Maintenance Easement were dedicated, given, granted and conveyed as shown per recorded Document #752721 at the Kenosha County Register of Deeds Office to the Village for public sanitary sewerage system improvements, uses and purposes, and for all related ingress and egress, construction, installation, repair, alteration, replacement and maintenance activities and public water system improvements, uses and purposes, and for all related ingress and egress, construction, installation, repair, alteration, replacement and maintenance activities. These sanitary sewer easements shall be exclusive, except for: (1) such other easements as may be dedicated and conveyed herein with respect to the same area or any portion thereof; (2) such above-ground use, planting, care and maintenance responsibilities of the easement areas which shall be required by the Owner(s) of the Lot 1 and Lot 2 on which such easements are located as will not interfere with the improvements, uses and purposes of the Village as it relates to these easements; and (3) such future parking lots, driveways, curbs and gutters, sidewalks, landscaping, landscape islands or other uses of the easement areas as may be approved by the Village. In the event of any conflict between the rights of the Lot Owner(s), the rights of the Village and the rights of other entities with respect to the sanitary sewer easement areas, the Village's rights under these easements shall be deemed to be superior.

The easement rights include the perpetual right to enter upon Lot 1 and Lot 2 within the sanitary sewer easement areas at any time that the Village may see fit, to re-construct, maintain, use and repair the underground sewer main(s) and related appurtenances, which may

in any manner be a part of or portion to such sanitary sewer main for the purpose of conveying sanitary sewer under Lot 1 and Lot 2, together with the right to excavate, reconstruct, maintain, use and repair the sanitary sewer system improvements, and the further right to remove trees, bushes, parking/driveway pavement areas, landscaping, landscaped islands, sidewalks, curbs and gutters, signage, underground and other obstructions interfering with the location, reconstruction, use and maintenance of the sanitary sewer system improvements.

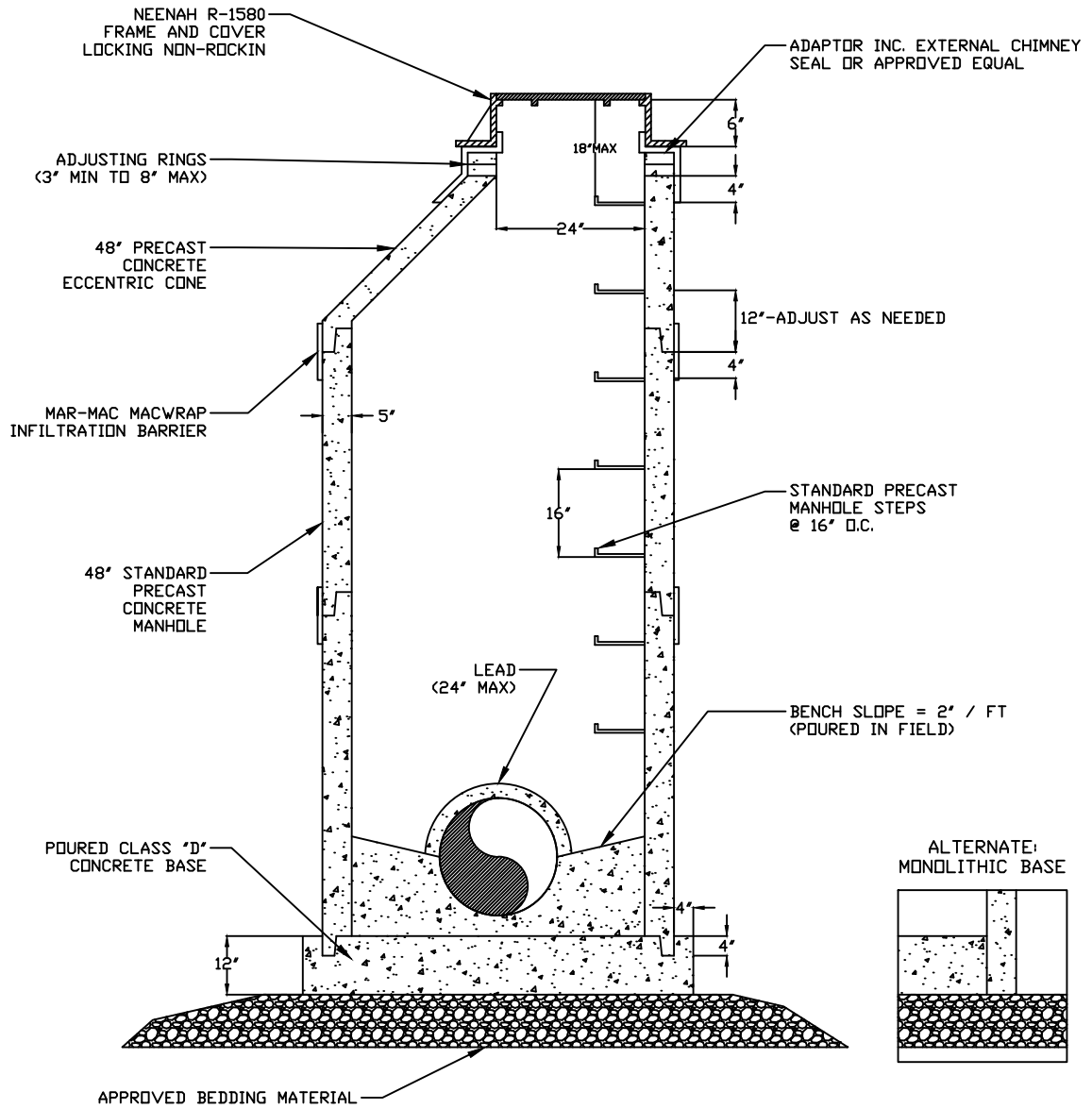
7. DEDICATED SANITARY AND STORM SEWER, ACCESS AND MAINTENANCE EASEMENT

Nonexclusive easements coextensive with the areas shown as Sanitary and Storm Sewer, Access and Maintenance Easement on Lot 1 and Lot 2 of this CSM were dedicated, given, granted and conveyed per recorded Document # 1539375 and #1539376 to the Village for sanitary sewer and storm water management purposes, private and public drainage ways, and for all related construction, installation, repair, alteration, replacement, landscaping, maintenance and ingress and egress. These sanitary sewer and storm sewer easements are exclusive, except for: (1) such other easements as may be dedicated and conveyed herein with respect to the same area or any portion thereof; (2) such above-ground use, planting, care and maintenance responsibilities of the easement areas which shall be required by the Owner(s) of the Lot 1 and Lot 2 on which such easements are located as will not interfere with the improvements, uses and purposes of the Village as it relates to these easements; and (3) such future parking lots, driveways, curbs and gutters, sidewalks, landscaping, landscape islands or other uses of the easement areas as may be approved by the Village. In the event of any conflict between the rights of the Lot Owner(s), the rights of the Village and the rights of other entities with respect to the sanitary sewer and storm sewer easement areas, the Village's rights under these easements shall be deemed to be superior.

The easement rights include the perpetual right to enter upon Lot 1 and Lot 2 within the sanitary sewer and storm sewer easement areas at any time that the Village may see fit, to reconstruct, maintain, use and repair the underground storm sewer main(s) and related appurtenances, which may in any manner be a part of or portion to such sanitary sewer or storm sewer mains for the purpose of conveying storm water across, through, and under Lot 1 and Lot 2, together with the right to excavate, reconstruct, maintain, use and repair the storm water management system improvements, and the further right to remove trees, bushes, parking/driveway pavement areas, landscaping, landscaped islands, sidewalks, curbs and gutters, signage, underground and other obstructions interfering with the location, reconstruction, use and maintenance of the sanitary sewer and storm water management system improvements.

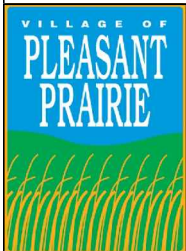
8. DEDICATED VISION TRIANGLE EASEMENT

Nonexclusive easements coextensive with the areas shown as a 15'X15' Dedicated Vision Triangle Easement on Lot 1 and Lot2 of this CSM are hereby dedicated, given, granted and conveyed by the Owner to the Owner(s) of Lots 1 and 2 and the Village for the purpose of maintaining a clear sight line of vision at the identified intersection. There shall be no obstructions, such as but not limited to structures, signage, fencing, vehicular parking, vegetation and shelters within the 15'X15' vision triangle easement unless expressly approved by the Village. This restriction is for the safety and benefit of the traveling public and shall be enforceable by the Village.



NOTE: REFER TO VILLAGE STANDARD SPECIFICATIONS FOR STORM SEWER.

SCALE: NTS



Standard Storm Manhole

DETAIL: STM - 1

CREATED: 11-21-12

REVISED: 4-4-14

APPROVED BY: MIKE SPENCE



VP-0603

MANHOLE AND VALVE ADJUSTMENTS (EXISTING UTILITIES)

1.0 Section Description.

- A. This section includes requirements for adjusting existing manholes and water valves. This section pertains to adjustments on existing utilities. New manholes shall be constructed in accordance with Sections VP-0200 and VP-0300 and Village standard details.
- B. Related Sections Include:
 - (1) Section VS-0100 General Terms and Conditions
 - (2) Section VS-0200 Sanitary Sewer
 - (3) Section VS-0300 Storm Sewer
 - (4) Section VS-0400 Water Main
 - (5) Section VS-0601 Backfilling Utility Trenches
 - (6) Section VS-0602 Site Restoration and Surface Replacement

2.0 Manhole Adjustment Using Adjustment Rings (Existing Manholes).

- A. The Contractor shall adjust existing manhole castings to grade by adding or removing adjusting rings. (Maximum adjusting ring height for manholes is 16-inches.)
- B. Adjusting rings shall be furnished and installed by the Contractor and shall be one of the following:
 - (1) Concrete rings with one line of steel centered within the ring. Concrete rings shall match the dimensions of the existing rings.
 - (2) High Density Polyethylene (HDPE) adjustment rings as manufactured by Ladtech, Inc., Lino Lakes, Minnesota, or approved equal.
 - (3) Expanded Polypropylene adjustment rings (Pro-Ring) as manufactured by Cretex Specialty Products, Waukesha, Wisconsin, or approved equal.
 - a. When removing manhole casting and rings, the Contractor shall clean the casting and manhole mating surfaces to remove all loose mortar and other substances. The Contractor shall take precautions to prevent gravel and other materials from entering the manhole. All materials falling into the manhole shall be removed by the Contractor.
 - b. Concrete adjusting rings and manhole frames shall be set with butyl rubber sealant The (EZ-Stick or Kent Seal in rope form) or equal.
 - c. HDPE and Expanded Polypropylene adjusting rings shall be installed per manufactures recommendations and instructions.

- d. The top of manhole castings shall be set 1/4 inch below the newly finished asphalt surfaces, finished grade of concrete pavement, or elevations per the plan within grass or lawn areas.

C. External Chimney Seal.

- (1) Manholes shall be provided with an external manhole chimney seal as manufactured by Adaptor Inc., West Allis, Wisconsin or equal. The external chimney seal shall be installed in accordance with the manufacturer's instructions. Seals shall span the entire chimney height.

3.0 Manhole Adjustments -Reconstruction (Existing Manholes).

- A. Manholes that cannot be brought up to grade by adding or removing adjusting rings shall be adjusted to grade in accordance with the following procedures:

- (1) Remove casting, rings, cone section, and riser section(s) as required.

- a. Place new riser section(s) and/or cone section, 3" to 16" of concrete adjusting rings and reset casting to grade. Salvaged materials in satisfactory condition may be reused if approved by Village.

- B. All manhole adjustments shall be constructed in accordance with Chapter 3.5.0 and File No. 12 and 15 of the "Standard Specifications" and these Special Provisions.

- (1) Manhole steps shall be OSHA approved and fabricated using 3/8-inch minimum diameter steel reinforcing rod molded plastic covering.

- (2) Joints for precast manhole riser sections shall be made with rubber "O"-ring gaskets, a continuous ring of butyl rubber sealant (EZ-Stick or Kent-Seal in rope form) or equal except that joints for storm sewer manholes may also be made with mortar. The butyl sealant shall be 1-inch diameter equivalent or as recommended by the manhole manufacturer.

- a. An external sealing wrap shall be placed at all joints between pre-cast manhole sections. The external sealing wrap shall meet, or exceed, the requirements of ASTM C-877, Type II. External joint seals shall be MacWrap, as manufactured by Mar-Mac Manufacturing Co., Inc., or approved equal.

C. External Chimney Seal.

- (1) Manholes shall be provided with an external manhole chimney seal as manufactured by Adaptor Inc., West Allis, Wisconsin or equal. The external chimney seal shall be installed in accordance with the manufacturer's instructions. Seals shall span the entire chimney height.

4.0 Backfill for Manhole Adjustments.

- A. Manhole Adjustments using adjustment rings.

- (1) Manholes located within pavement areas shall be backfilled using slurry unless otherwise approved to use granular backfill by the Village.
- (2) Manholes located in lawn or grass areas shall be backfilled with granular material except for the top four inches which shall be topsoil.

B. Manhole Adjustments-Reconstruction.

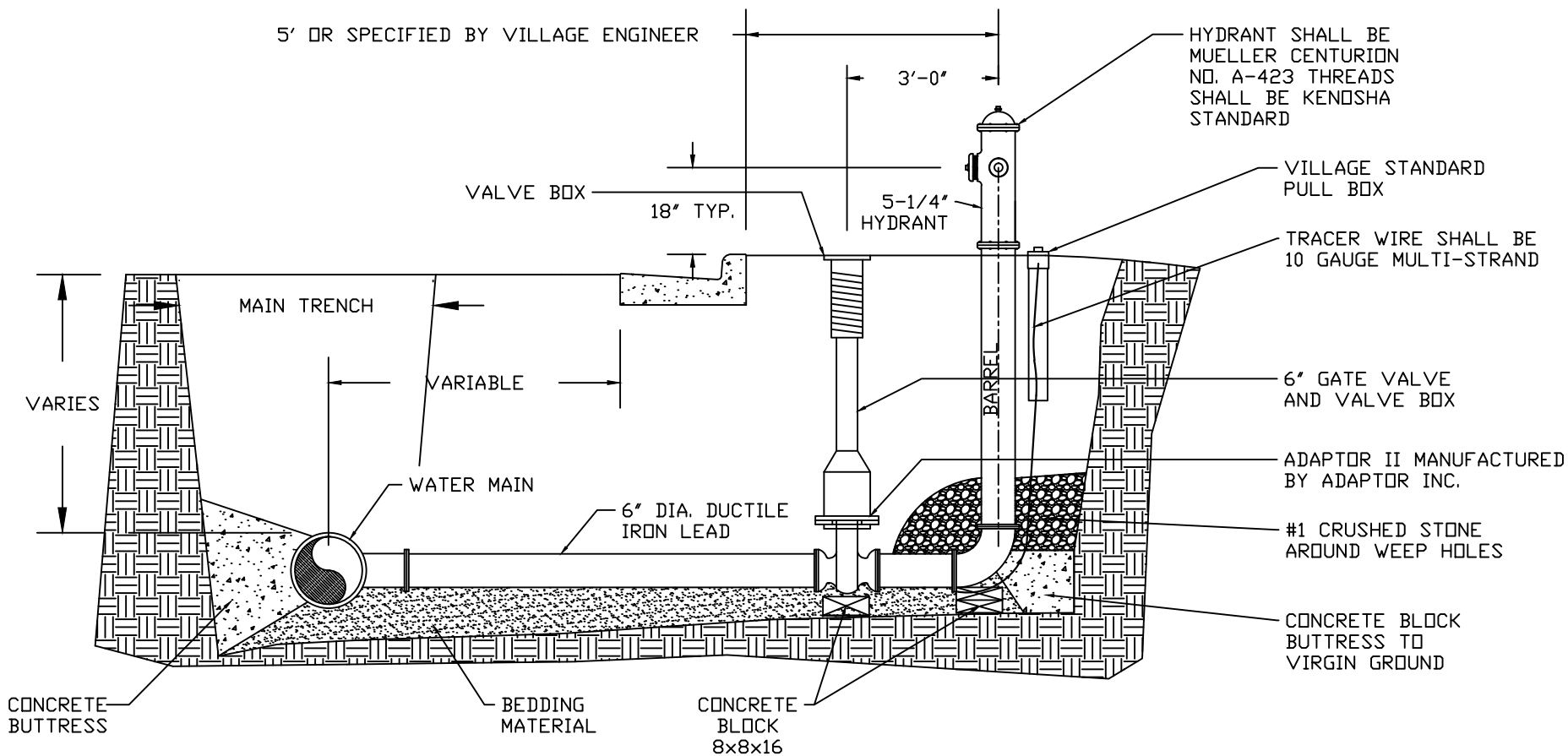
- (1) Manholes located within pavement areas shall be backfilled with slurry.
- (2) Manholes located within lawn or grass areas shall be backfilled with granular material except for the top four inches which shall be topsoil.

C. Refer to Section VS-0601 Backfilling Utility Trenches for additional backfill requirements.

5.0 Valve Box Adjustments.

- A. The Contractor shall adjust valve boxes to grade by screwing or sliding the valve box top section to the required elevation.
- B. The Contractor shall coordinate with the Village Public Works Department regarding inspection of all valves and valve boxes, including hydrant valves, to ensure valve boxes are clean, valve nuts are accessible and valve is operational.
- C. Valve boxes shall be set 1/4 inch below the newly finished asphalt surfaces, finished grade of concrete pavement, or elevations per the plan within grass or lawn areas.

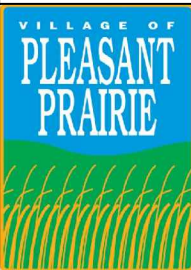
END OF SECTION



NOTES:

1. MECHANICAL JOINTS FROM TEE TO VALVE AND FROM VALVE TO HYDRANT SHALL BE RESTRAINED WITH MEGALUGS AND STAINLESS STEEL BOLTS.
2. ALL BOLTS SHALL BE STAINLESS STEEL BOLTS.
3. REFER TO VILLAGE STANDARD SPECIFICATIONS FOR WATER MAIN CONSTRUCTION

SCALE: NTS



Standard Hydrant Assembly

DETAIL: W - 1

CREATED: 11-26-12

REVISED: 2-20-14

APPROVED BY: MIKE SPENCE



ORD. # 14-

**ORDINANCE TO AMEND THE OFFICIAL ZONING MAP
OF THE VILLAGE OF PLEASANT PRAIRIE,
KENOSHA COUNTY, WISCONSIN
PURSUANT TO CHAPTER 420-13 OF THE VILLAGE ZONING ORDINANCE**

**BE IT ORDAINED by the Village of Pleasant Prairie Board of Trustees,
Kenosha County, Wisconsin, that the Official Village Zoning Map is hereby amended
as follows:**

The property located at 10220 Prairie Ridge Blvd. and known as Lot 1 of CSM _____
located within U. S. Public Land Survey Section 8 Township 1 North, Range 22 East in the
Village of Pleasant Prairie is hereby rezoned into the I-1 (PUD), Institutional District with a
Planned Unit Development Overlay District.

The Village Zoning Administrator is hereby directed to record this Zoning Map Amendment
on the appropriate sheet of the Official Village Zoning Map and Appendix B in Chapter 420 of
the Village Municipal Code shall be updated to include said amendment.

Adopted this ____ day of _____, 2014.

VILLAGE BOARD OF TRUSTEES

ATTEST:

John P. Steinbrink
Village President

Jane M. Romanowski
Village Clerk

Posted: _____

___ Hospice

ORD. # 14-

**ORDINANCE TO CREATE THE
HOSPICE ALLIANCE DEVELOPMENT
PLANNED UNIT DEVELOPMENT (PUD) PURSUANT TO
CHAPTER 420-137 OF THE VILLAGE ZONING ORDINANCE
IN THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN**

BE IT ORDAINED by the Village Board of Trustees of the Village of Pleasant Prairie, Kenosha County, Wisconsin, that the following Planned Unit Development (PUD) Ordinance is hereby created for the Hospice Alliance Development pursuant to Chapter 420-137 of the Village Zoning Ordinance to read as follows:

HOSPICE ALLIANCE DEVELOPMENT PLANNED UNIT DEVELOPMENT

- a. It is the intent that the Hospice Alliance Development (hereinafter referred to as the "DEVELOPMENT"), will provide for structures, improvements and uses on the property as legally described below in conformity with the adopted Village Comprehensive Plan and in compliance with the basic underlying I-1, Institutional Zoning District with the goal of facilitating development in a fashion that will not be contrary to the general health, safety, economic prosperity, and welfare of the Village, with the additional goal of encouraging proper maintenance of the structures, landscaping, sitting areas, parking areas, lighting, signage and general site development so as to promote an attractive and harmonious commercial development area and seek to achieve a institutional/business environment of sustained desirability and economic stability, which will operate as a uniform commercial development with the surrounding commercial properties located both in the Village of Pleasant Prairie as well as avoids unreasonable adverse effects to the property values of the surrounding properties and surrounding neighborhood.
- b. Legal Description: The property includes Lot 1 of CSM _____ as recorded at the Kenosha County Register of Deeds Office on _____, 2014 as Document # _____ and located in U.S. Public Land Survey Section 8, Township 1 North, Range 22 East in the Village of Pleasant Prairie.
- c. Requirements within the DEVELOPMENT:
 - (i) The DEVELOPMENT shall be in compliance with all Federal, State, County and Village Ordinances and regulations, except as expressly modified by this PUD Ordinance.
 - (ii) The DEVELOPMENT shall be in compliance with the *Prairie Ridge Commercial Development Declaration of Development Standards and Protective Covenants*, as recorded at the Kenosha County Register of Deeds Office. Said Declarations, as requested by the owners and approved by the Village, may be amended from time to time.
 - (iii) The DEVELOPMENT shall continue to comply with the Prairie Ridge Planned Unit Development (Ord. #07-28 as approve in 2007). Said Ordinance, as requested by the owners and approved by the Village, may be amended from time to time.
 - (iv) The DEVELOPMENT shall not be required to comply with the Shoppes of Prairie Ridge Planned Unit Development (Ord. #07-29 as adopted in 2007).
 - (v) The DEVELOPMENT, including but not limited to, the building(s), sign(s), fence(s), garbage dumpster enclosures, landscaping, parking lot(s), exterior site lighting, etc., and the site as a whole, shall be maintained on a regular basis in a neat, presentable, aesthetically pleasing, structurally sound and non-hazardous condition. This site maintenance shall also include the daily picking up and disposal of trash and debris which may accumulate on the sites.

- (vi) Upon development of a second building on this property or an addition greater than 500 square feet to the existing building within the DEVELOPMENT, the owners of the DEVELOPMENT shall install a Digital Security Imaging System and provide a DSIS Access Easement pursuant to the regulations set forth in the Chapter 410 of the Village Municipal Code.
- (vii) The DEVELOPMENT shall be in compliance with all applicable Site and Operational Plan(s), Conditional Use Permits (if applicable) and other Planned Unit Developments (if applicable), as on file with the Village.
- (viii) All buildings and site alterations and modifications, excluding general building and site maintenance within the DEVELOPMENT, shall be made in accordance with the applicable Village Ordinances and Codes at the time the modification is proposed.
- (ix) All buildings/structures and all exterior additions, remodeling or alterations to the any buildings/structures within the DEVELOPMENT shall be constructed of the same or complimentary exterior materials, colors and architectural style to ensure a unified commercial development, including signage, lighting, outdoor furniture, etc. with the Prairie Ridge entire commercial area included within the Prairie Ridge Subdivision.
- (x) The DEVELOPMENT shall be operated and maintained in a uniform manner, regardless of property ownership. If the DEVELOPMENT is sold to another entity(s), the DEVELOPMENT shall continue to operate as a unified commercial development PUD and shall continue to comply with this PUD and all other PUDs that may be applicable to this DEVELOPMENT, which may be amended from time to time. Specifically, but not limited to, the commercial buildings parking lots shall be utilized as a shared parking lots and cross-access easements shall be designed in order to allow and facilitate the movement of vehicular traffic from property to property.
- (xi) Temporary or permanent storage containers (some having brand names such as P.O.D.S, S.A.M.S., etc.) and compactors are not allowed within the DEVELOPMENT. All merchandise, product, crate, pallet, etc., storage shall be stored inside a building.
- (xii) No flags, pennants, streamers, inflatable signage, plastic banner-type signage, spot lights, walking signs, shall be affixed to any building, landscaping vehicle, roof-top, or the ground shall be allowed unless expressly permitted by the Zoning Ordinance.
- (xiii) The DEVELOPMENT shall comply with the designated hours of operation and hours of delivery times for the I-1 District at all times during the year.
- (xiv) The DEVELOPMENT shall be maintained in a neat, presentable, aesthetically pleasing, structurally sound and nonhazardous condition. All litter and debris shall be promptly removed.
- (xv) The DEVELOPMENT shall not be used for any outside overnight or daytime parking of junked, inoperable, dismantled or unlicensed vehicles. All junked, inoperable, dismantled or unlicensed vehicles that are parked outside will be issued citations. No extended overnight parking of passenger vehicles is allowed in the parking lots.
- (xvi) In the event that any tenant requests public transportation to service the DEVELOPMENT, it shall be the responsibility of the requesting party(ies) to fund the cost of providing such public transportation to and from the DEVELOPMENT.
- (xvii) The DEVELOPMENT shall comply with all applicable performance standards set forth in Section 420-38 of the Village Zoning Ordinance.

- d. Specific modifications to the Village of Pleasant Prairie Zoning Ordinance for the DEVELOPMENT:
 - (i) Reserved for future use.
- e. Amendments
 - (i) The PUD regulations for the DEVELOPMENT may be amended pursuant to Chapter 420-137 of the Zoning Ordinance.
 - (ii) The Zoning Administrator has the discretion to approve minor changes, adjustments and additions to this PUD ordinance document without the need for Village Plan Commission and Village Board review and approval.

Adopted this ____ day of _____ 2014.

VILLAGE OF PLEASANT PRAIRIE

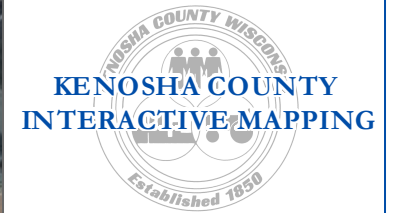
John P. Steinbrink
Village President

ATTEST:

Jane M. Romanowski
Village Clerk

Posted: _____

General Location Map



1 inch = 300 feet

DISCLAIMER This map is neither a legally recorded map nor a survey and is not intended to be used as one. This drawing is a compilation of records, data and information located in various state, county and municipal offices and other sources affecting the area shown and is to be used for reference purposes only. Kenosha County is not responsible for any inaccuracies herein contained. If discrepancies are found, please contact Kenosha County.

Date Printed: 3/26/2014



Partners in Design
ARCHITECTS

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MAR 14 2014
Village of Pleasant Prairie

Partners in Design
Architects, Inc.

W I S C O N S I N
600 Fifty Second Street
Suite 220
Kenosha, WI 53140
voice: 262.652.2800
fax: 262.652.2812

I L L I N O I S
2610 Lake Cook Road
Suite 280
Riverwoods, IL 60015
voice: 847.940.0300
fax: 847.940.1045

March 13, 2014

Ms. Jean Werbie-Harris
Community Development Director
Village of Pleasant Prairie
9915 39th Avenue
Pleasant Prairie, Wisconsin 53158

Re: Hospice Alliance Foundation Parking Expansion

Dear Ms. Werbie-Harris:

As you know, the Hospice Alliance Foundation (HAF) has been operating the 8 residential bed facility known as Hospice House at 10220 Prairie Ridge Blvd. since 2003. In December of last year the HAF closed on the purchase of 8.6 acres of vacant land contiguous to the east property line of their current location. The newly acquired property is commonly known as Lot 3 of CSM 2602.

The HAF purchased the additional property for the singular immediate purpose of constructing additional parking for their existing facility. Our initial phase will be to combine a portion of the new property with the existing HAF property for the purpose of expanding the available number of parking spaces for the Hospice House. We are therefore requesting approval of a new Certified Survey Map and approval to construct the additional parking on the combined single parcel. You have requested that the HAF provide a conceptual development plan for the overall property. While we have complied with the request, it is important that we again stress there are no immediate plans to develop anything beyond the additional parking and realize any future development will require village review and approval.

The overall **conceptual** approach for the property is as outlined in the narrative below:

Phase One: The initial phase is intended to reconfigure the existing and new properties to create a two parcel certified survey map with the west parcel of the new CSM containing the existing Hospice House facility in its current configuration, as well as an additional parking lot on the north portion of the newly added property and a shared ingress/egress road to Prairie Ridge Blvd. The shared access road will align with 100th Street and will provide for a full ingress/egress to the Hospice House property, where currently only a right-in/right-out exists. While the existing Hospice House facility is code compliant relative to the number of parking spaces on the site, the newly proposed parking lot is intended to provide additional parking for the visitors and staff during peak times as well as to accommodate the annual auto show fundraiser held by the HAF.

The current Hospice House is an approximately 19,600 sf partial two story building with an additional 16,725 sf of basement. The maximum building height, at the partial two story area, is 30'-4". The facility has a daily staff count of approximately 40 staff on the largest shift with the exception of one day a week when the number could reach 50.

www.pidarchitects.com

Phase Two: As stated, the Hospice Alliance Foundation does not have specific plans for the future development of the remainder of what will be their specific, enlarged parcel. There are several potential directions the organization could go to expand the services they provide to the greater Kenosha County community. We have outlined one potential scenario in an attempt to comply with your request to provide a conceptual plan for any future development. Phase two does not have a specific time line. The conceptual details are as follows:

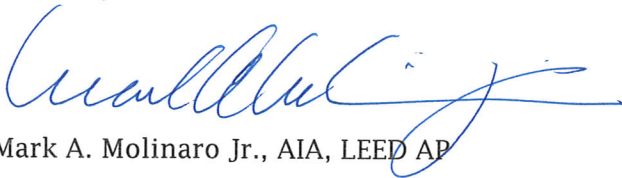
1. Construct a new 16-24 bed residential hospice facility capable of providing acute symptom care to the expanded patient population. This will result in two buildings on the same parcel of land.
2. The criteria for admission will remain consistent with the current admission requirements which are 60 days or less of life expectancy and the need for 24/7 care.
3. The facility will be staffed with registered nurse coverage 24/7.
4. The new facility will have a maximum of 24 beds, 10 employees on the largest shift and 2 doctors/staff maximum at any given time.
5. All eight of the residential beds in the existing building could be eliminated with the entire existing facility renovated into an administration building for the Hospice Alliance Foundation. The maximum number of employees on the largest shift in the administration building is projected to be 35.

Phase Three: Phase three is not necessarily a phase at all in that the reference is made simply in relation to the eastern most parcel(s) of the newly created CSM. At this point, the HAF has no intended use contemplated for the property and will actively market the property for sale, however we have shown that the remainder of the property would be capable of supporting two additional buildings and have the potential to be subdivided into two parcels.

Again, as previously stated, we are only asking for approval of a new certified survey map and the construction of additional parking.

Please feel free to give me a call with any questions.

Sincerely,



Mark A. Molinaro Jr., AIA, LEED AP



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Village of Pleasant Prairie

Filed 20 Published 20
Public Hearing 20
Fee Paid 20 Approved 20
Notices Mailed 20 Denied 20

VILLAGE OF PLEASANT PRAIRIE
CONCEPTUAL PLAN APPLICATION

- 1. Development Name: HOSPICE ALLIANCE FOUNDATION
2. General Location of Development: 10220 PRAIRIE RIDGE BLVD.
3. Tax Parcel Number(s): 91-4-122-082-0306 91-4-122-082-0143
4. Number of Lots: 2 Number of Outlots: N/A
5. Size of Development: 8.65 acres.
6. The Development is proposed to be constructed in Phases: [X] Yes [] No
7. The Development abuts or adjoins a State Trunk Highway: [] Yes [X] No
8. The Development abuts or adjoins a County Trunk Highway or a Kenosha County Park or the Kenosha County Bike Trail: [] Yes [X] No
9. The following number and types of plans shall be submitted with this application:
- 10 full size sets of Conceptual Plan
- 1 copy of the Conceptual Plan reduced to 11" by 17"
- Conceptual Plan application fee
- 10 sets of Conceptual Engineering Plan
- Phasing Plan, if applicable
- Draft of Declarations, Covenant, Restrictions and any Easement Documents
- Any other information as specified by the Village

I, (We), hereby certify that all the above statements and attachments submitted herewith are true and correct to the best of my knowledge.

PROPERTY OWNER:

Print Name: HOSPICE ALLIANCE FOUNDATION
Signature: Thomas J. Lemata, President
Address: 10220 PRAIRIE RIDGE BLVD.
PLEASANT PRAIRIE WI 53158
(City) (State) (Zip)
Phone: 262-818-1408
Fax:
Date: 3-13-2014

OWNER'S AGENT:

Print Name: MARC A. MOLINARO JR
Signature: [Signature]
Address: 600 52 STREET SUITE 220
KENOSHA WI 53140
(City) (State) (Zip)
Phone: (262) 652-2800
Fax:
Date: 03.13.14



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Village of Pleasant Prairie

VILLAGE OF PLEASANT PRAIRIE
SITE AND OPERATIONAL PLAN
AND CONDITIONAL USE PERMIT ZONING APPLICATION

USE THIS FORM FOR:
Tenants/Use changes proposing to occupy 50% or more of an existing commercial/industrial building.

To construct a new or addition to principal or accessory structure.

Use requires a Conditional Use Permit.

| FOR OFFICE USE ONLY | |
|---|--------------------------------------|
| Application Filed on | 20 |
| Preliminary Determination of Completeness on: | 20 |
| Revised Plans Submitted: | 20 |
| <input type="checkbox"/> Public Hearing Required: Hearing Date: | _____, 20__ |
| Published on: and | _____, 20 Notices sent on: _____, 20 |
| Approved by <input type="checkbox"/> Plan Commission on | _____, 20__ |
| <input type="checkbox"/> Zoning Administrator on | _____, 20__ |
| Denied by <input type="checkbox"/> Plan Commission on | _____, 20__ |
| <input type="checkbox"/> Zoning Administrator on | _____, 20__ |

SECTION 1: GENERAL INFORMATION

NAME OF BUSINESS: HOSPICE ALLIANCE FOUNDATION

SITE ADDRESS: 10220 PRAIRIE RIDGE BLVD

BRIEF PROJECT DESCRIPTION: SEE ATTACHED NARRATIVE

PROPOSED NUMBER OF FULL TIME EMPLOYEES: _____

PROPOSED NUMBER OF PART-TIME EMPLOYEES: _____

SITE SIZE: _____ sq. ft. _____ acres

PROPOSED BUILDING SIZE: _____ sq.ft. HEIGHT: _____ ft.

PROPOSED ADDITION SIZE: _____ sq.ft. HEIGHT: _____ ft.

LEGAL DESCRIPTION: _____

TAX PARCEL NUMBER(S): 91-4-122-082-0306 91-4-122-082-0143

CURRENT ZONING CLASSIFICATION(S) OF THE PROPERTY: _____

- Is a zoning map amendment proposed with this project? Yes No
 - If yes, proposed Zoning Classification(s): _____
- Is a zoning text amendment proposed with this project? Yes No
 - If yes, provide a copy of the proposed text amendment with this application

3. If property is zoned M-1 or M-2, indicate the Occupancy Type pursuant to the Use and Occupancy Classification specified in Chapter 3 of the 2006 International Building Code (2006 IBC). Include all that apply and associated square footage for each classification:

- Factory Group F-1 (Moderate-hazard) _____ sq ft
- Factory Group F-2 (Low-hazard) _____ sq ft
- Storage Group S-1 (Moderate-hazard) _____ sq ft
- Storage Group S-2 (Low-hazard) _____ sq ft
- Business Group B _____ sq ft
- High-Hazard Group H* _____ sq ft
- Other _____ sq ft
- Other _____ sq ft

**If Use and Occupancy Classification is High-Hazard Group H please provide a detailed written narrative that explains the specific use, quantity of storage and handling of the high hazard materials along with appropriate MSSD sheets with this application.*

PUBLIC SERVICES:

1. Is the property serviced by Public Sanitary Sewer? YES NO
 - If no, the closest public sewer is located at _____
2. Is the property serviced by Public Water? YES NO
 - If no, the closest public water is located at _____
3. Maximum number of gallons/minute of water expected to be used per day is: _____.

THIS APPLICATION IS FOR A: (check one)

- Preliminary Site and Operational Plan:** An applicant may apply for preliminary site and operational plan approval in connection with an erosion control permit application for early mass grading, or in connection with an early foundation permit, or for other good cause shown
- New Site and Operational Plan**
- Amendment to an existing Site and Operational Plan**
 - Date of initial site and operational plan approval: _____
 - Date of each approved amendment: _____

SECTION 2: EXISTING USES AND BUILDINGS ON THE SITE

- Are there any existing buildings on the site? YES NO
- If yes, provide an attachment that explains the current uses on the property and current uses in each building and if the use(s) is proposed to continue; and the gross floor area and height of each building.
 - If no, what is the current use of the property? _____

SECTION 3: PHOTOGRAPHS

Standard-sized photographs (not Polaroid) showing all aspects of the site (e.g. locations of proposed improvements, bodies of navigable water, wetlands, wooded areas, etc.) and of the exterior of structures or other site improvements, together with a statement regarding each photograph, which includes the date the photograph was taken, the location from which it was taken, the direction in which the camera was pointed, and a description of what is shown in the photograph. With respect to all existing signs, the applicant shall file photographs of all existing signs and shall specify in the written statement accompanying each such photograph and show the dimensions of such sign. Digital images are acceptable.

SECTION 4: CONDITIONAL USE

1. **Does the proposed project require a Conditional Use Permit?** YES NO
 - If no then skip to Section 5.
 - If yes, then continue with this Section.

2. **Are you amending an existing Conditional Use Permit?** YES NO
 - If yes, provide a copy of the Conditional Use Grant Document you are proposing to amend.
 - If no, continue with this Section.

3. If you answered YES to either question 1 or 2 above then this application shall include information as to how the proposed project will not impair an adequate supply of light and air to adjacent properties; increase danger of fire; cause traffic congestion or traffic circulation problems; create storm water flooding or drainage; create obnoxious odors, problems or otherwise endanger the public health, safety or welfare; will not hinder, harm or distract the provision of public services; and that the proposed project is not inherently inconsistent with either the district in which it is located or adjoining districts or neighborhoods as required pursuant to the Village Zoning Ordinance.

SECTION 5: NON-CONFORMING USE

1. **Is any use on the site a nonconforming use?** YES NO
 - If no, then skip to Section 7.
 - If yes, then continue with this section.

2. If you answered YES to question 1 above, prima facie proof of each element of legal nonconforming use status shall be submitted to the Village with this application (i.e. that the nonconforming use was legal in its inception, that the use was active and actual and not merely casual, occasional, incidental or accessory when it became nonconforming, that the use has been continuous with no gap of 12 or more consecutive months since it became nonconforming, that no building or structure housing the nonconforming use has been structurally repaired or altered to the extent of fifty (50) percent or more of its assessed value since the use became nonconforming, and that the use has not been changed in nature or physically extended or expanded since becoming nonconforming).

SECTION 6: PERFORMANCE STANDARDS

Pursuant to the Village Zoning Ordinance, any application for a permit under this ordinance or any use subject to the regulations and standards set forth in the Village Zoning Ordinance shall be accompanied by a sworn statement by the owner of the subject property that said property and use will be operated in accordance with the performance standards set forth in Section 420-38 of the Village Ordinance. Continued compliance with the regulations and standards is required. Violations of such standards shall be remedied as required by the Village Zoning Ordinance.

No land or building in any district shall be operated in such a manner so as to create any dangerous, injurious, noxious or otherwise objectionable fire, explosive or other hazard; noise or vibration, smoke, dust, dirt or other form of air pollution; water pollution; electrical, radioactive or other disturbances; glare; or other substance, condition or element (referred to herein as "dangerous or objectionable elements") in such amount as to adversely affect the surrounding area or premises; provided that any use permitted by this ordinance may be undertaken and maintained if it conforms to the regulations of this subsection limiting dangerous and objectionable elements at the specified point or points of the determination of their existence.

The Village may require additional information be submitted to ensure that the Village Performance Standards are being met.

SECTION 7: PLAN COMPONENTS

The application shall include a list of all documents, materials or information that are attached to and a part of the application form. Submit eight (8) full-sized and one (1) set reduced to 11" x 17" of all plans and other attachments shall be included as part of this application, except if a component has been waived or deferred in writing by the Village Zoning Administrator. **For specific details related to each of the required information and plans see the attachment entitled "Plan Components and Related Standards" in Section 420-57 of the Village Zoning Ordinance.**

- Application—Applicant, Site, Use, Project and Plan Information
- Application fee
- Operational plan
- Title sheet
- Survey
- Site plan
- Grading and drainage plan
- Building and fire protection plans
- Lighting plan
- Landscape and open space plan
- Signage plan
- Industrial/commercial waste survey
- Performance standards compliance
- Additional requirements, as determined by the Village Zoning Administrator, other appropriate Village staff members, or the Village Plan Commission, as appropriate.

Two or more plans may be combined, provided that all of the information submitted on the combined plan is clearly legible, but in no case shall the combined plans fail to show any of the information required for each individual plan as described below, unless such information is waived or deferred pursuant to the Zoning Ordinance.

SECTION 8: SIGNATURES

I,(We), hereby certify that all the above statements and all attachments submitted herewith are true and correct to the best of my knowledge. In addition I, (we) understand the requirements and procedures for Site and Operational Plan/Conditional Use Permit approval.

PROPERTY OWNER:

Name: HOSPICE ALLIANCE FOUNDATION
 Signature: (Please Print) Thomas H. Fenuta, President
 Address: 10220 PRAIRIE RIDGE BLVD
PLEASANT PRAIRIE WI 53158
 (City) (State) (Zip)
 Phone: 262-818-1408
 Fax: _____
 E-mail: tfenuta@rwbaird.com
 Date 3-13-2014

APPLICANT:

Name: MARK A. MOLINARO JR.
 Signature: (Please Print) [Signature]
 Address: 600 52 STREET SUITE 220
KENOSHA WI 53140
 (City) (State) (Zip)
 Phone: (262) 652-2800
 Fax: _____
 E-mail: markm@pidardi.tectis.com
 Date: 03.13.14

Is the applicant the owner of the property? YES NO

If no, then either proof of the applicant's legal interest in the subject real property (e.g. accepted offer to purchase, lease, etc., which may be appropriately redacted to preserve confidential information) or written authorization signed by the owner for the applicant to act as the owner's agent in connection with the application shall be included with the application.

DEVELOPER (if Applicable)

Name: _____
 (Please Print)
 Signature: _____
 Address: _____

 (City) (State) (Zip)
 Phone: _____
 Fax: _____
 E-mail: _____
 Date _____

USER OR OCCUPANT OF SITE:

Name: _____
 (Please Print)
 Signature: _____
 Address: _____

 (City) (State) (Zip)
 Phone: _____
 Fax: _____
 E-mail: _____
 Date _____

HOSPICE ALLIANCE, INC PARKING LOT EXPANSION

VILLAGE OF
PLEASANT PRAIRIE
REVIEW SET

03.14.14

SHEET INDEX

TI TITLE SHEET

ARCHITECTURAL
A11 ARCHITECTURAL SITE PLAN

CIVIL
C-1.0 SITE DEMOLITION PLAN
C-2.0 SITE GRADING AND EROSION CONTROL PLAN
C-3.0 SITE UTILITY PLAN
C-4.0 SITE LAYOUT AND PAVEMENT ID PLAN
C-5.0 MASTER CONCEPTUAL PLAN
C-6.0 SITE DETAILS

LANDSCAPE
L-1 LANDSCAPE PLAN

ELECTRICAL
E1 SITE LIGHTING PLAN

LOCATION MAP

PLEASANT PRAIRIE, WI

OWNER:
HOSPICE ALLIANCE, INC
3555 16th STREET
PLEASANT PRAIRIE, WISCONSIN 53156
PHONE: 262.652.4482
FAX: 262.652.4619
ATTN: RITA HAGEN, RN, MSN

ARCHITECT:
PARTNERS IN DESIGN ARCHITECTS
6000 52nd STREET, SUITE 220
KENOSHA, WISCONSIN 53140
PHONE: 262.652.2800
ATTN: MARK MOLINARO, JR., AIA, LEED AP
ERIC MGRN, LEED AP BD+C

CIVIL ENGINEER
JSD PROFESSIONAL SERVICES, INC
1021 W2931 NANCY CT, SUITE 3
WALKESHA, WISCONSIN 53186
PHONE: 262.933.0666
ATTN: RIZAL W. ISKANDARSJACH, P.E., R.L.S.

LANDSCAPE ARCHITECT:
REESMAN'S SERVICE CORPORATION
2800 BUSHNELL ROAD
BURLINGTON, WISCONSIN 53105
PHONE: 262.342.1425
FAX: 262.338.2665
ATTN: TOM NORDLOH

Hospice Alliance
Ask for us by name

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JSD Professional Services, Inc.
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Outdoor design build specialists

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Partners in Design
ARCHITECTS

HOSPICE ALLIANCE, INC
PARKING LOT EXPANSION

VILLAGE REVIEW SET

DATE: 03.14.14
NUMBER: 710.13.122

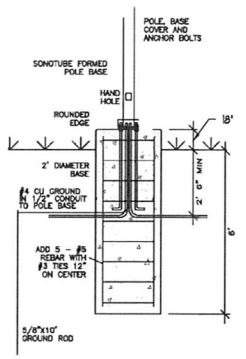
NEW CONCRETE BASE WITH ALUMINUM POLE AND DOUBLE HEAD FIXTURE - SEE DETAIL VAI AND SHEET E1 FOR DETAILS - TYPICAL X4

SHADING INDICATES AREA OF EXISTING PARKING LOT TO BE RECONFIGURED

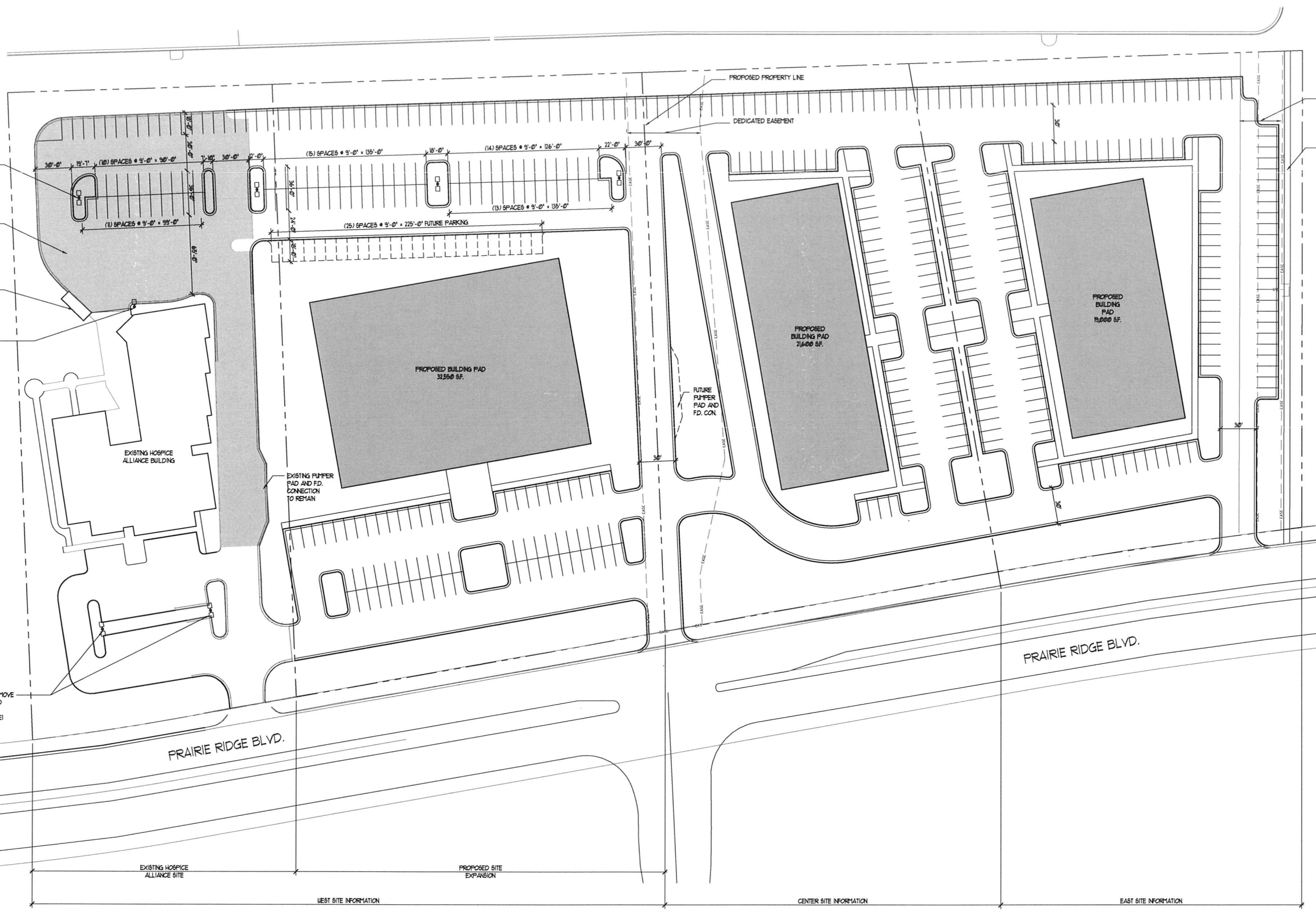
EXISTING TRASH ENCLOSURE TO RETAIN

NEW CONCRETE BASE WITH ALUMINUM POLE AND SINGLE HEAD FIXTURE - SEE DETAIL VAI AND SHEET E1 FOR DETAILS

EXISTING LIGHT POLES: REMOVE DOUBLE HEAD FIXTURE AND REPLACE WITH LED TYPE CB FIXTURES - SEE SHEET E1



1 LIGHT POLE DETAIL
A11 NOT TO SCALE



WEST SITE INFORMATION
TOTAL AREA: 267,688 SF (6.03 AC)
GREEN SPACE: 8071 SF (3.02%)
PARKING: 225 SPACES
FUTURE PARKING: 25 SPACES

CENTER SITE INFORMATION
TOTAL AREA: 10,501 SF (134 AC)
GREEN SPACE: 37,556 SF (34.80%)
PARKING: 84 SPACES

EAST SITE INFORMATION
TOTAL AREA: 18,102 SF (2.71 AC)
GREEN SPACE: 37,634 SF (31.52%)
PARKING: 144 SPACES

ARCHITECTURAL SITE PLAN
1" = 40'-0"



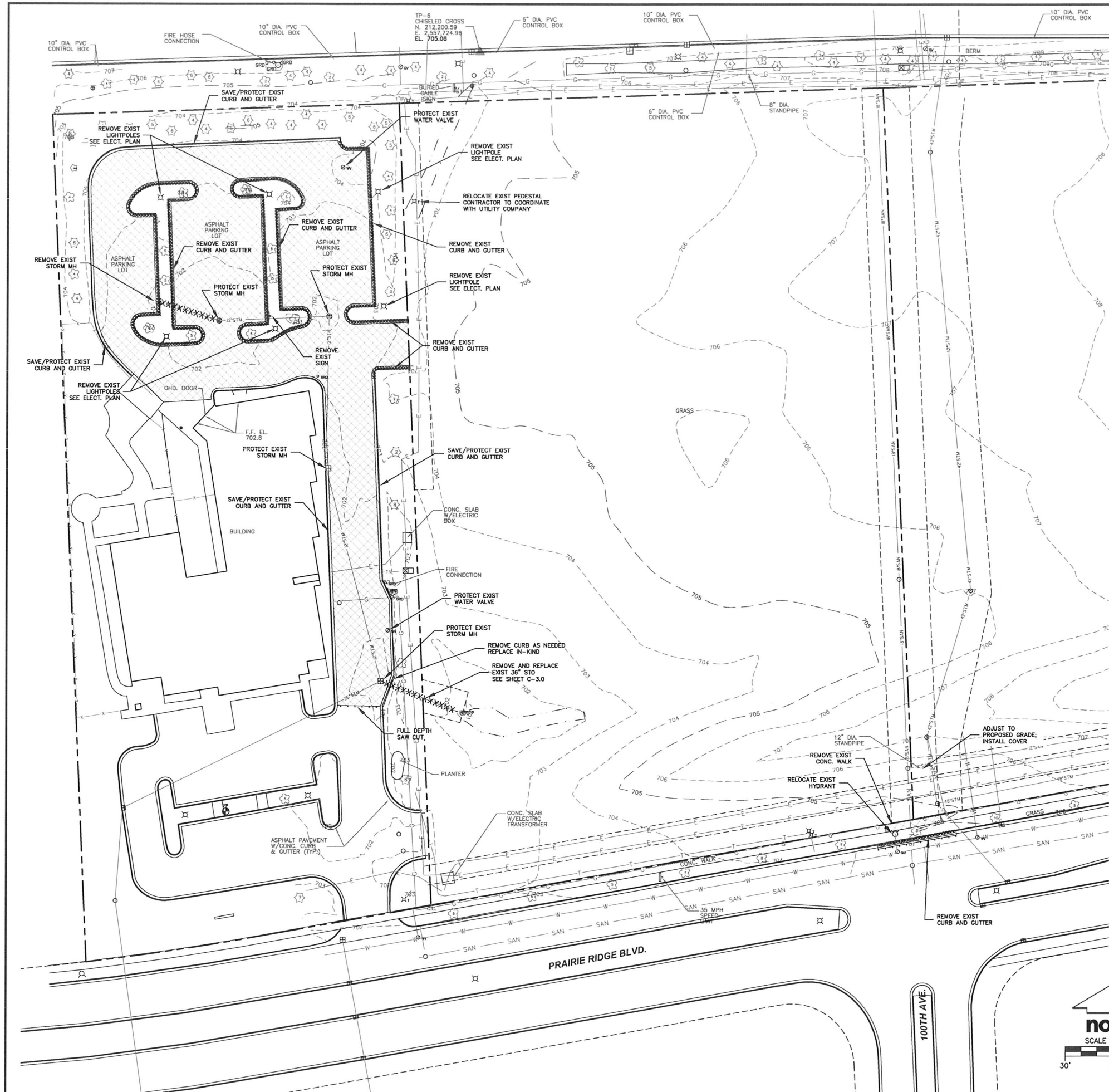
HOSPICE ALLIANCE PARKING LOT EXPANSION
 Pleasant Prairie, Wisconsin
Architectural Site Plan

600 TINY-Second Street
 Suite 220
 Kenosha, WI 53142
 PH: (262)552-2800
 FAX: (262)552-2812

Partners in Design
 ARCHITECTS

PROJECT NO:
 11013.122
 DRAWN BY: EMM
 CHECKED BY: MAM
 DATE: 03.14.14
 SHEET NO:

A1.1



GENERAL NOTES

1. REFER TO SHEET C-2.0 FOR COMPLETE SITE EROSION CONTROL NOTES.
2. REFER TO ALTA/ACSM LAND TITLE SURVEY FOR EXISTING CONDITION.
3. CONTRACTOR IS RESPONSIBLE TO NOTIFY VILLAGE OF PLEASANT PRAIRIE OFFICIALS FOR ANY WORK WITHIN PUBLIC RIGHTS-OF-WAY AND APPLY FOR ALL APPROPRIATE PERMITS.
4. CONTRACTOR SHALL PROTECT VILLAGE SIDEWALKS AND REPLACE IN-KIND, IF DAMAGED.
5. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATIONS OF ALL DEMOLITION ITEMS AND QUANTITIES. ALL MATERIAL OFFSITE REMOVAL SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
6. CONTRACTOR IS RESPONSIBLE FOR CONTACTING APPROPRIATE UTILITY COMPANIES TO DETERMINE IF RELOCATION OF UTILITY POLES, TELEPHONE AND FIBER OPTICS BOXES, AND/OR OTHER UTILITIES WILL BE REQUIRED. CONTRACTOR SHALL NOTIFY OWNER FOR APPROVAL PRIOR TO RELOCATION OF SAID UTILITIES.
7. REPLACE EXISTING WALK ADJACENT TO NEW DRIVEWAY APPROACH WITH 8" CONCRETE, SEE PAVEMENT ID PLAN SHEET C-4.0 AND DETAIL SHEET C-6.0



FULL EXCAVATION OF ASPHALT AND STONE BASE

JSD Professional Services, Inc.
 • Engineers • Surveyors • Planners

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- TRANSPORTATION ENGINEERING
- LANDSCAPE ARCHITECTURE

MILWAUKEE REGIONAL OFFICE
 #22 W22931 NANCY'S COURT SUITE 3
 WAUKESHA, WISCONSIN 53188
 262.513.0966 PHONE | 262.513.1232 FAX
 MADISON | MILWAUKEE
 KENOSHA | APPLETON
 www.jsdinc.com

SERVICES PROVIDED TO:
Partners in Design
 ARCHITECTS

PROJECT:
HOSPICE ALLIANCE

PROJECT LOCATION:
 VILLAGE OF PLEASANT PRAIRIE
 KENOSHA COUNTY, WI

JSD PROJECT NO.: 14-8080

SEAL/SIGNATURE:

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

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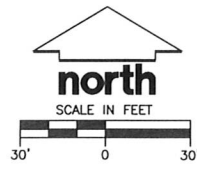
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SHEET TITLE:
SITE DEMOLITION PLAN

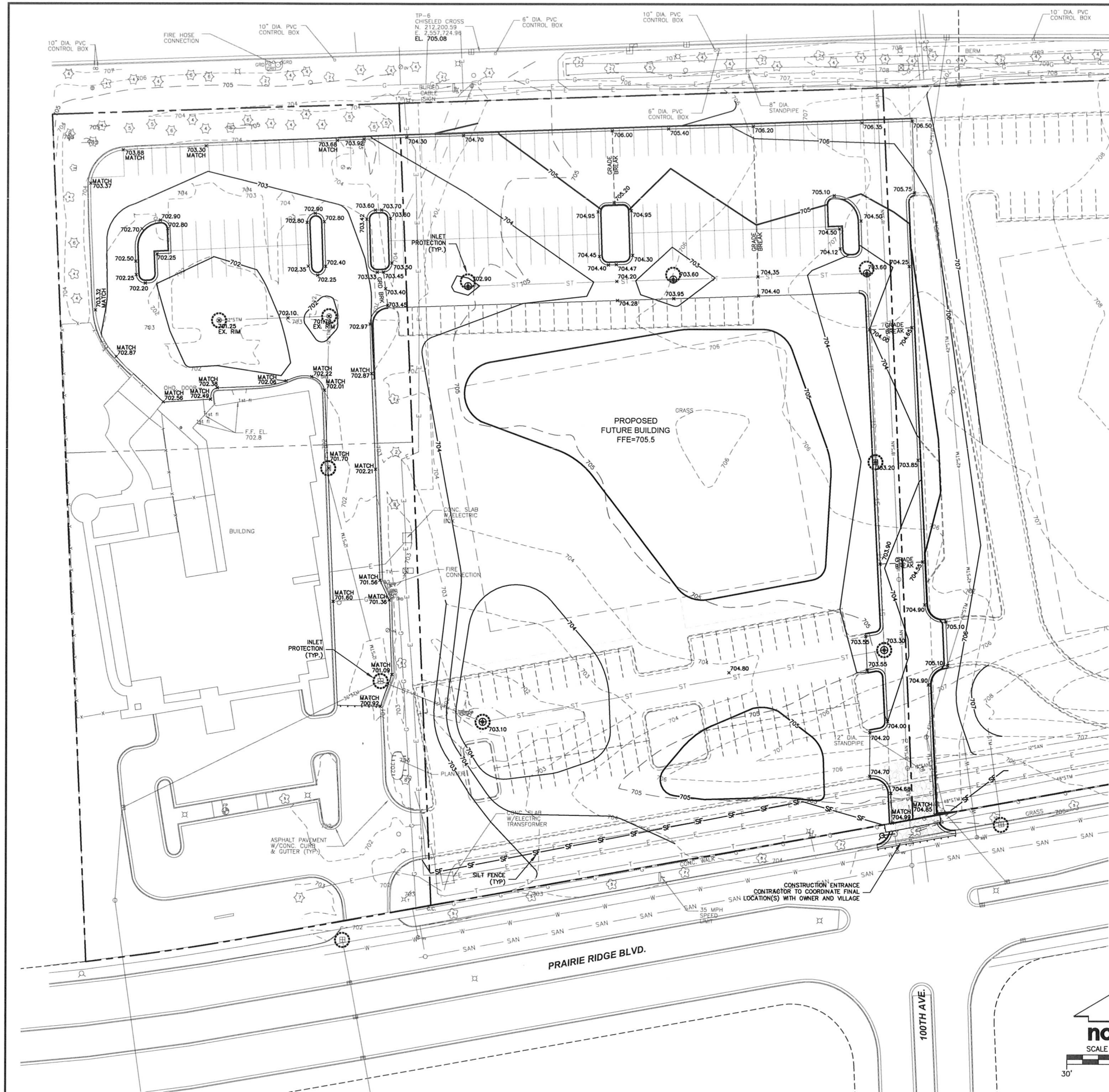
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C-1.0

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CONSTRUCTION SITE EROSION CONTROL:

- CONTRACTOR IS RESPONSIBLE TO NOTIFY ENGINEER OF RECORD AND VILLAGE OF PLEASANT PRAIRIE OFFICIALS OF ANY CHANGES TO THE EROSION CONTROL PLAN. ENGINEER OF RECORD AND APPROPRIATE VILLAGE OFFICIALS MUST APPROVE ANY CHANGES PRIOR TO DEVIATION FROM THE APPROVED PLANS.
- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) TECHNICAL STANDARDS (REFERRED TO AS BMP'S) AND VILLAGE OF PLEASANT PRAIRIE ORDINANCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL EROSION CONTROL MEASURES WHICH MAY BE NECESSARY TO MEET UNFORESEEN FIELD CONDITIONS.
- MODIFICATIONS TO THE APPROVED EROSION CONTROL DESIGN IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS IS ALLOWED IF MODIFICATIONS CONFORM TO BMP'S. ALL DESIGN MODIFICATIONS MUST BE APPROVED BY THE VILLAGE OF PLEASANT PRAIRIE PRIOR TO DEVIATION OF THE APPROVED PLAN.
- ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, COUNTY INSPECTORS AND/OR ENGINEER OF RECORD SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
- INSTALL PERIMETER EROSION CONTROL MEASURES (SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE AND EXISTING INLET PROTECTION) PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE COVER, AS SHOWN ON PLAN IN ORDER TO PROTECT ADJACENT PROPERTIES/STORM SEWER SYSTEMS FROM SEDIMENT TRANSPORT.
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF VEHICLE INGRESS/EGRESS POINTS. CONTRACTOR IS RESPONSIBLE TO COORDINATE LOCATION(S) WITH THE PROPER AUTHORITIES, PROVIDE NECESSARY FEES AND OBTAIN ALL REQUIRED APPROVALS OR PERMITS. ADDITIONAL CONSTRUCTION ENTRANCES OTHER THAN AS SHOWN ON THE PLANS MUST BE PRIOR APPROVED BY THE VILLAGE OF PLEASANT PRAIRIE.
- INLET PROTECTION SHALL BE IMMEDIATELY FITTED AT THE INLET OF ALL INSTALLED STORM SEWER AND SILT FENCE SHALL BE IMMEDIATELY FITTED AT ALL INSTALLED CULVERT INLETS TO PREVENT SEDIMENT DEPOSITION WITHIN STORM SEWER SYSTEMS.
- DITCH CHECKS AND APPLICABLE EROSION NETTING/MATTING SHALL BE INSTALLED IMMEDIATELY AFTER COMPLETION OF GRADING EFFORTS WITHIN DITCHES/SWALES TO PREVENT SOIL TRANSPORTATION.
- CONTRACTOR SHALL INSTALL SILT FENCING AT DOWNSLOPE SIDE OF STOCKPILES.
- ALL EXPOSED SOIL AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE OR ON WHICH LAND DISTURBING ACTIVITIES WILL NOT BE PERFORMED FOR A PERIOD GREATER THAN 30 DAYS AND REQUIRE VEGETATIVE COVER FOR LESS THAN 1 YEAR, REQUIRE TEMPORARY SEEDING FOR EROSION CONTROL. SEEDING FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1059 AND VILLAGE OF PLEASANT PRAIRIE ORDINANCE.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING WIND EROSION (DUST) DURING CONSTRUCTION AT HIS/HER EXPENSE, WHEN NECESSARY OR REQUIRED BY LOCAL INSPECTORS AND/OR ENGINEER OF RECORD.
- EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):
 A. PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
 B. BACKFILL, COMPACT AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
 C. DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH BMP'S PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM OR DRAINAGE DITCH.
- PAVED SURFACES ADJACENT TO CONSTRUCTION SITE VEHICLE ACCESS SHALL BE SWEEP AND/OR SCRAPPED TO REMOVE ACCUMULATED SOIL, DIRT AND/OR DUST AFTER THE END OF EACH WORK DAY AND AS REQUESTED BY THE VILLAGE OF PLEASANT PRAIRIE.
- INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
- ALL EROSION AND SEDIMENT CONTROL ITEMS SHALL BE INSPECTED WITHIN 24 HOURS OF ALL RAIN EVENTS EXCEEDING 0.5 INCHES. IMMEDIATELY REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
- EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.

GENERAL GRADING NOTES

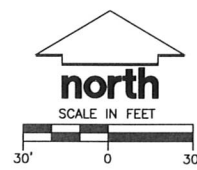
- CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER OF RECORD PRIOR TO THE START OF CONSTRUCTION ACTIVITIES.
- ALL PROPOSED GRADES SHOWN ARE FINISHED SURFACE GRADES. PARKING LOT AND DRIVEWAY ELEVATIONS ARE PAVEMENT GRADES. SPOT GRADES ALONG CURB REFERENCE FLOWLINE GRADES, NOT TOP OF CURB GRADES, UNLESS OTHERWISE SPECIFICALLY NOTED.
- CONTRACTOR IS RESPONSIBLE TO NOTIFY ENGINEER OF RECORD AND VILLAGE OF PLEASANT PRAIRIE OFFICIALS OF ANY CHANGES TO THE EROSION CONTROL AND STORM WATER MANAGEMENT PLANS. ENGINEER OF RECORD AND VILLAGE MUST APPROVE ANY CHANGES PRIOR TO DEVIATION FROM THE APPROVED PLANS.
- THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATIONS OF ALL GRADING QUANTITIES. WHILE JSD ATTEMPTS TO PROVIDE A COST EFFECTIVE APPROACH TO BALANCE EARTHWORK, GRADING DESIGN IS BASED ON MANY FACTORS, INCLUDING SAFETY, AESTHETICS, AND COMMON ENGINEERING STANDARD OF CARE, THEREFORE NO GUARANTEE CAN BE MADE FOR A BALANCED SITE.
- CONTRACTOR IS RESPONSIBLE FOR CONTACTING APPROPRIATE UTILITY COMPANIES TO DETERMINE IF RELOCATION OF UTILITY POLES, TELEPHONE AND FIBER OPTICS BOXES, AND/OR OTHER UTILITIES WILL BE REQUIRED. CONTRACTOR SHALL NOTIFY OWNER FOR APPROVAL PRIOR TO RELOCATION OF SAID UTILITIES.

CONSTRUCTION SITE SEQUENCING:

- INSTALL THE TEMPORARY CONSTRUCTION ENTRANCE TRACKING PADS AND PERIMETER EROSION CONTROLS.
 - DEMOLISH EXISTING PAVEMENT AND OTHER ITEMS DETAILED ON SHEET C-1.0.
 - CONDUCT GRADING OF PARKING AREA.
 - INSTALL UTILITY LINES AND PIPING, IMMEDIATELY INSTALL INLET PROTECTION ON OPEN GRATE STRUCTURES.
 - COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL, AND PLACEMENT OF CURBS, PAVEMENTS, WALKS, ETC.
 - PLACE TOPSOIL, SEED AND MULCH WITH NATIVE SPECIES DOT-30 OR SIMILAR AFTER GRADING IS COMPLETED.
 - EROSION CONTROLS WILL NOT BE REMOVED UNTIL VEGETATIVE COVER IS ESTABLISHED.
- CONTRACTOR MAY MODIFY SEQUENCING AFTER ITEM 1 AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS.

LEGEND

- PROPOSED CATCH BASIN
- PROPOSED INLET PROTECTION
- SILT FENCE (SEE DETAIL)
- PROPOSED STORM SEWER
- PROPOSED 1' CONTOUR
- PROPOSED 5' CONTOUR
- CONSTRUCTION ENTRANCE (SEE DETAIL)



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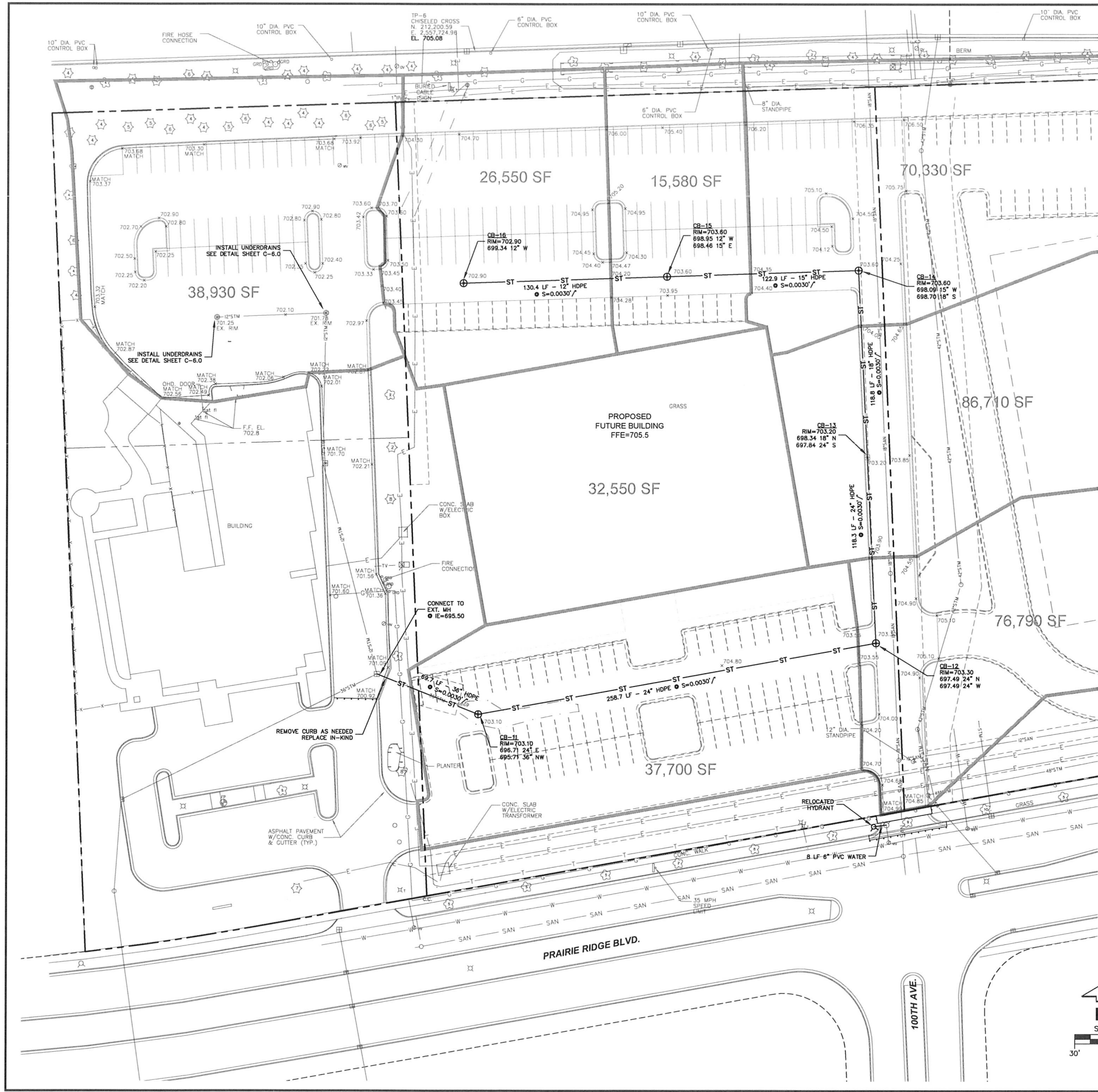
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SHEET TITLE:
SITE GRADING AND EROSION CONTROL PLAN

SHEET NUMBER:
C-2.0

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UTILITY NOTES

- EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE TYPE, LOCATION, SIZE AND ELEVATION OF UNDERGROUND UTILITIES AS THEY DEEM NECESSARY FOR PROPOSED UTILITY CONNECTIONS AND/OR TO AVOID DAMAGE THERETO. CONTRACTOR SHALL CALL "DIGGER'S HOTLINE" PRIOR TO ANY CONSTRUCTION.
- ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN LATEST EDITION AND ADDENDUM) AND ALL STATE AND LOCAL CODES AND SPECIFICATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE WHICH SPECIFICATIONS AND CODES APPLY, AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE LOCAL AND STATE AUTHORITIES.
- UTILITY CONSTRUCTION AND SPECIFICATIONS SHALL COMPLY WITH THE VILLAGE OF PLEASANT PRAIRIE REQUIREMENTS AND WISCONSIN DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES SPS 382.
- TRACER WIRES SHALL BE INSTALLED AS NECESSARY IN ACCORD WITH 182.0715(2R) OF THE STATE STATUTES, RACINE WATER UTILITY REQUIREMENTS AND VILLAGE OF PLEASANT PRAIRIE REQUIREMENTS.
- LENGTHS OF PROPOSED UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS ARE SHOWN FOR CONTRACTOR CONVENIENCE ONLY. CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPUTATIONS OF MATERIALS REQUIRED TO COMPLETE WORK. LENGTHS SHALL BE FIELD VERIFIED DURING CONSTRUCTION.
- CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT EXISTING UTILITY COVERS (SUCH AS MANHOLE COVERS, VALVE BOX COVERS, ETC.) TO MATCH FINISHED GRADES OF THE AREAS DISTURBED DURING CONSTRUCTION.
- CONTRACTOR SHALL FIELD VERIFY LOCATIONS, ELEVATIONS, AND SIZES OF PROPOSED UTILITIES AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS PRIOR TO ATTEMPTING CONNECTIONS AND BEGINNING UTILITY CONSTRUCTION.
- STORM SEWER SPECIFICATIONS -
 PIPE - REINFORCED CONCRETE PIPE (RCP) SHALL MEET THE REQUIREMENTS OF ASTM CLASS IV (MINIMUM) C-78 WITH RUBBER GASKET JOINTS CONFORMING TO ASTM C-443; HIGH DENSITY DUAL-WALL POLYETHYLENE N-12 CORRUGATED PIPE (HDPE) SHALL BE AS MANUFACTURED BY ADS OR EQUAL WITH WATER TIGHT JOINTS, AND SHALL MEET THE REQUIREMENTS OF ASHOTO DESIGNATION M-294 TYPE "S", OR POLYVINYL CHLORIDE (PVC) - CLASS PS46 MEETING ASHOTO M278, AS NOTED. IF HDPE PIPE IS USED FOR POND OUTFALLS, A MINIMUM OF THREE (3) SECTIONS (2 STRAPS) SHALL BE STRAPPED TOGETHER.
 INLETS/CATCH BASINS - INLETS/CATCH BASINS SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NO. 25 OF THE "STANDARD SPECIFICATIONS" WITH A 1'-8" X 2'-8" MAXIMUM OPENING. FRAME & GRATE SHALL BE NEENAH R-2501 WITH TYPE G GRATE, OR EQUAL. CURB FRAME & GRATE SHALL BE NEENAH R-3067, OR EQUAL.
 BACKFILL AND BEDDING - STORM SEWER SHALL BE CONSTRUCTED WITH GRAVEL BACKFILL AND CLASS "B" BEDDING IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.4.3.5 OF THE "STANDARD SPECIFICATIONS".
 MANHOLE FRAMES AND COVERS - MANHOLE FRAMES AND COVERS SHALL BE NEENAH R-1642 WITH TYPE "B" SELF SEALING LIDS, NON-ROCKING OR EQUAL.
 FIELD TILE CONNECTION - ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE INCLUDED IN THE UNIT PRICE(S) FOR STORM SEWER. TILE LINES CROSSED BY THE TRENCH SHALL BE REPLACED WITH THE SAME MATERIAL AS THE STORM SEWER.
- WATER MAIN SPECIFICATIONS -
 PIPE - WATER MAIN SHALL BE POLYVINYL CHLORIDE (PVC) PIPE MEETING THE REQUIREMENTS OF AWWA STANDARD C-900, CLASS 150, DR-18, WITH CAST IRON O.D. AND INTEGRAL ELASTOMERIC BELL AND SPIGOT JOINTS. VALVES AND VALVE BOXES - GATE VALVES SHALL BE AWWA GATE VALVES MEETING THE REQUIREMENTS OF AWWA C-500 AND CHAPTER 8.27.0 OF THE "STANDARD SPECIFICATIONS". GATE VALVES AND VALVE BOXES SHALL CONFORM TO LOCAL PLUMBING ORDINANCES.
 HYDRANTS - HYDRANTS SHALL CONFORM TO THE SPECIFICATIONS OF THE VILLAGE OF MOUNT PLEASANT AND IN ACCORDANCE WITH FILE NO. 38 OF THE "STANDARD SPECIFICATIONS". THE DISTANCE FROM THE GROUND LINE TO THE CENTERLINE OF THE LOWEST NOZZLE AND THE LOWEST CONNECTION OF THE FIRE DEPARTMENT SHALL BE NO LESS THAN 18-INCHES AND NO GREATER THAN 23-INCHES.
 BEDDING AND COVER MATERIAL - PIPE BEDDING AND COVER MATERIAL SHALL BE SAND, CRUSHED STONE CHIPS OR CRUSHED STONE SCREENINGS CONFORMING TO CHAPTER 8.4.3.2 OF THE "STANDARD SPECIFICATIONS".
 BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS". GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.4.3.5 OF THE "STANDARD SPECIFICATIONS".
- WATER MAIN SHALL BE INSULATED WHEREVER THE DEPTH OF COVER IS LESS THAN 6 FEET. INSULATION AND PLACING OF INSULATION SHALL CONFORM TO CHAPTER 4.17.0 "INSULATION" OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN 6TH EDITION UPDATED WITH ITS LATEST ADDENDUM (TYP.).
- ALL NEW ON-SITE STORM UTILITIES SHALL BE PRIVATELY OWNED AND MAINTAINED BY THE PROPERTY OWNER.
- THE CONTRACTOR SHALL CONTACT THE VILLAGE OF PLEASANT PRAIRIE ENGINEERING DEPARTMENT 48-HOURS IN ADVANCE OF STORM CONNECTIONS TO THE VILLAGE-OWNED SYSTEM TO SCHEDULE INSPECTIONS.
- THE CONTRACTOR SHALL CONTACT VILLAGE OF PLEASANT PRAIRIE WATER UTILITY 48-HOURS IN ADVANCE OF WATER MAIN CONNECTIONS TO THE PUBLIC-OWNED SYSTEM TO SCHEDULE INSPECTIONS.

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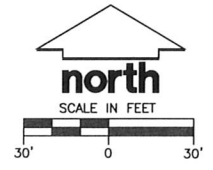
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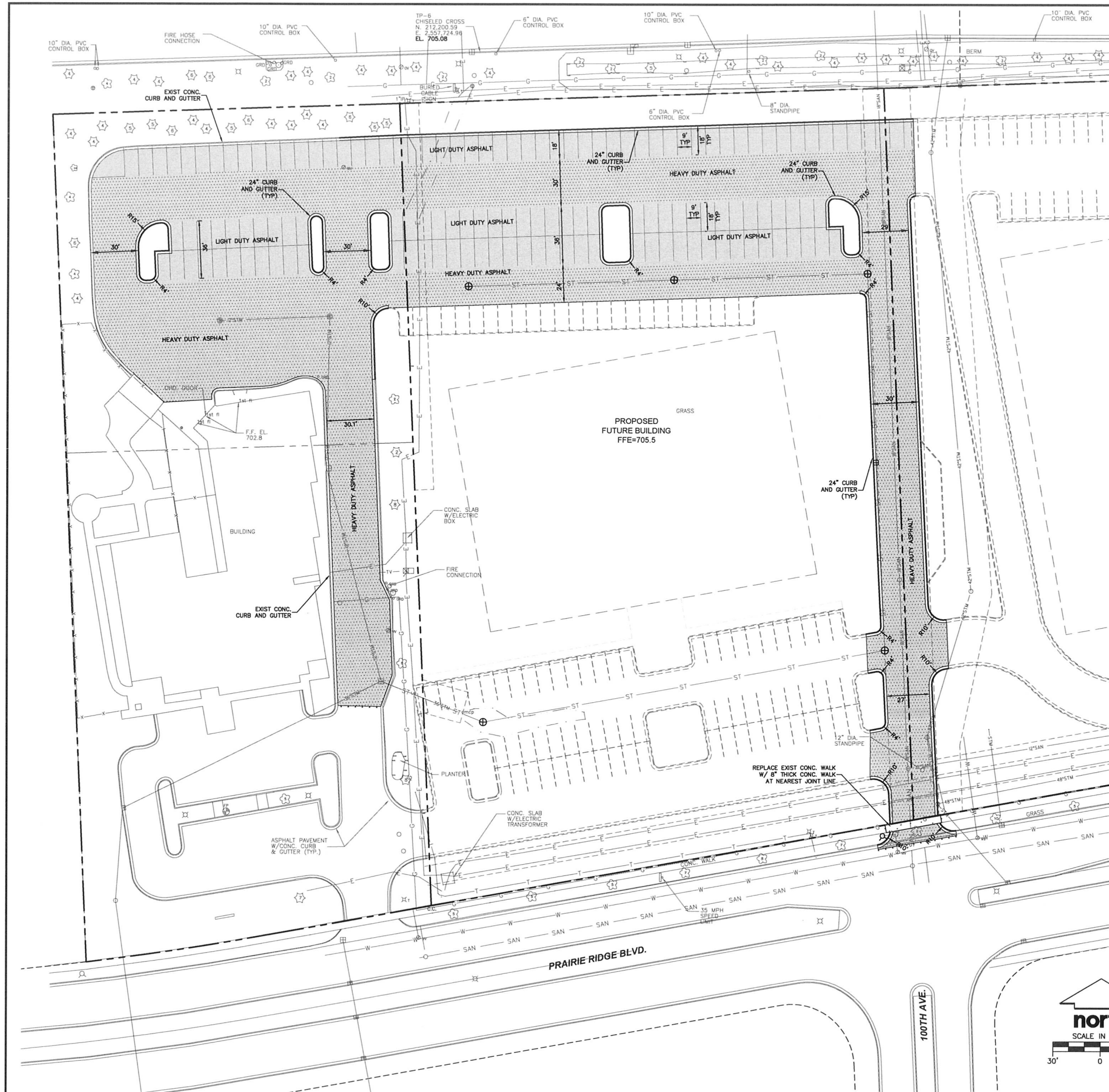
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


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PAVING NOTES

1. ALL PAVING SHALL CONFORM TO "STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION AND APPLICABLE VILLAGE OF PLEASANT PRAIRIE ORDINANCES."

- PAVEMENT STRUCTURE**
-  LIGHT DUTY PAVEMENT (AUTO PARKING AREAS)
 - 8" CRUSHED AGGREGATE BASE COURSE (1-1/2" DENSE GRADED LESTONE)
 - 3" ASPHALTIC CONC. (2 LIFTS)
 - LOWER LAYER (E-1 MIX; 19.0 mm NOMINAL SIZE)
 - UPPER LAYER (E-1 MIX; 9.5 mm NOMINAL SIZE)
 -  HEAVY DUTY PAVEMENT (TRUCK AREAS)
 - 10" CRUSHED AGGREGATE BASE COURSE (1-1/2" DENSE GRADED LESTONE)
 - 5" ASPHALTIC CONC. (2 LIFTS)
 - LOWER LAYER (E-3 TYPE; 19.0 mm NOMINAL SIZE)
 - UPPER LAYER (E-3 TYPE; 9.0 mm NOMINAL SIZE)
 -  CONCRETE SIDEWALK
 - 6" CRUSHED AGGREGATE BASE COURSE
 - 4" CONCRETE (8" VILLAGE SIDEWALK ADJACENT TO DRIVEWAY APPROACH)

2. ASPHALTIC CONCRETE PAVING SPECIFICATIONS-

CODES AND STANDARDS - THE PLACING, CONSTRUCTION AND COMPOSITION OF THE ASPHALTIC BASE COURSE AND ASPHALTIC CONCRETE SURFACING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 450, 455, 460 AND 465 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, EDITION OF 2005. HEREAFTER, THIS PUBLICATION WILL BE REFERRED TO AS STATE HIGHWAY SPECIFICATIONS.

WEATHER LIMITATIONS - APPLY TACK COATS WHEN AMBIENT TEMPERATURE IS ABOVE 50° F (10° C) AND WHEN TEMPERATURE HAS NOT BEEN BELOW 35° F (1° C) FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION. DO NOT APPLY WHEN BASE IS WET OR CONTAINS EXCESS OF MOISTURE. CONSTRUCT ASPHALTIC CONCRETE SURFACE COURSE WHEN ATMOSPHERIC TEMPERATURE IS ABOVE 40° F (4° C) AND WHEN BASE IS DRY AND WHEN WEATHER IS NOT RAINY. BASE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE 30° F (-1° C).

GRADE CONTROL - ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS FOR EACH COURSE DURING CONSTRUCTION.

CRUSHED AGGREGATE BASE COURSE - THE TOP LAYER OF BASE COURSE SHALL CONFORM TO SECTIONS 301 AND 305, STATE HIGHWAY SPECIFICATIONS. GEO GRID MAT TO BE INSTALLED IF UNSUITABLE SOILS ARE ENCOUNTERED; COST WILL BE INCIDENTAL TO CONTRACT.

BINDER COURSE AGGREGATE - THE AGGREGATE FOR THE BINDER COURSE SHALL CONFORM TO SECTIONS 460.2.7 AND 315, STATE HIGHWAY SPECIFICATIONS.

SURFACE COURSE AGGREGATE - THE AGGREGATE FOR THE SURFACE COURSE SHALL CONFORM TO SECTIONS 460.2.7 AND 465, STATE HIGHWAY SPECIFICATIONS.

ASPHALTIC MATERIALS - THE ASPHALTIC MATERIALS SHALL CONFORM TO SECTION 455 AND 460, STATE HIGHWAY SPECIFICATIONS.

SURFACE PREPARATION - NOTIFY CONTRACTOR OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.

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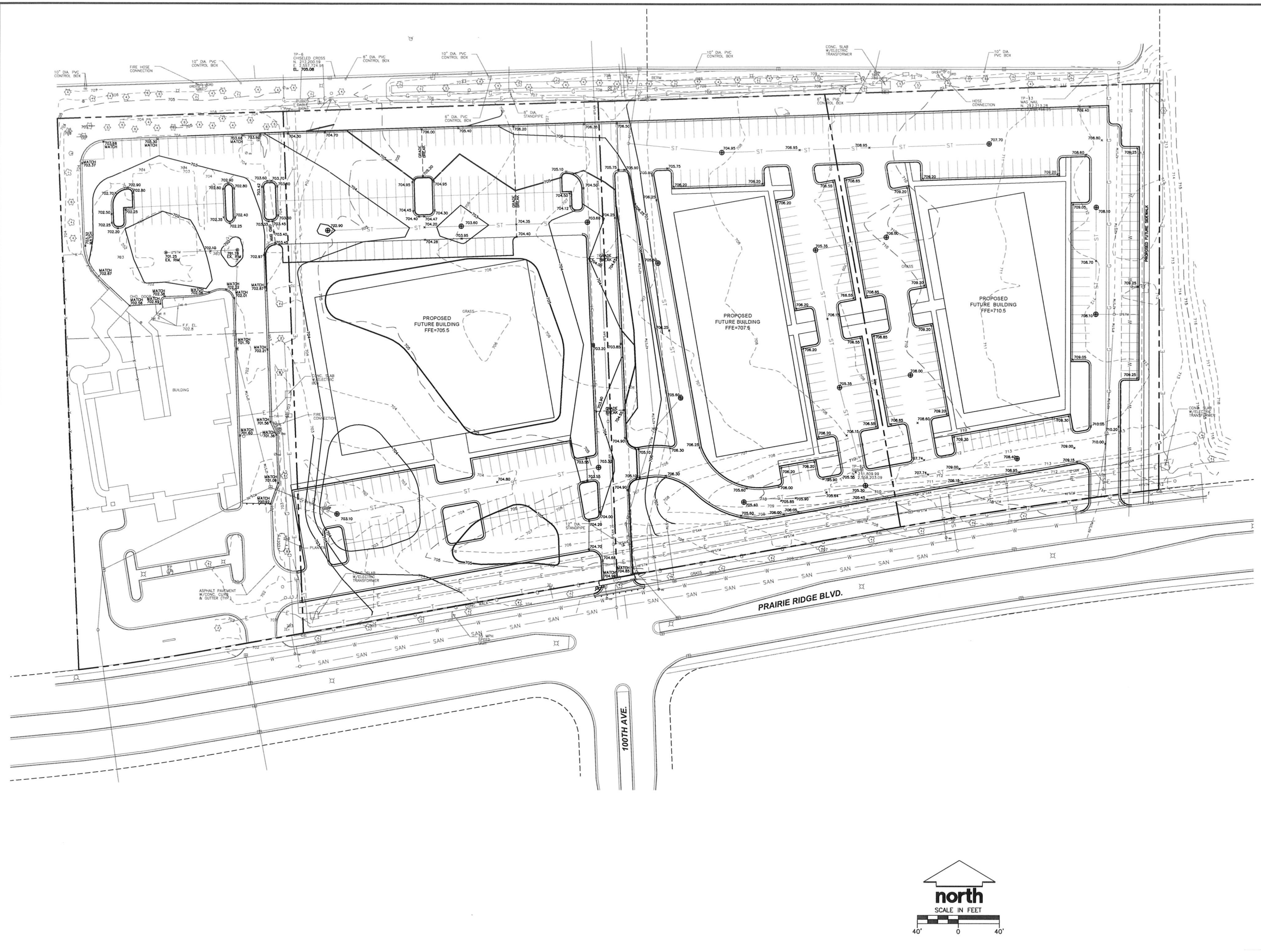
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SHEET TITLE:
 SITE LAYOUT AND PAVEMENT ID PLAN

SHEET NUMBER:
 C-4.0

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MILWAUKEE REGIONAL OFFICE
 122 W22931 MANDY'S COURT SUITE 3
 WAUKESHA, WISCONSIN 53189
 262.513.0666 PHONE | 262.513.1232 FAX
 MADISON | MILWAUKEE
 KENOSHA | APPLETON
www.jsdinc.com

SERVICES PROVIDED TO:

 Partners in Design
 ARCHITECTS

PROJECT:
HOSPICE ALLIANCE

PROJECT LOCATION:
 VILLAGE OF PLEASANT PRAIRIE
 KENOSHA COUNTY, WI

JSD PROJECT NO.: 14-6080

SEAL/SIGNATURE:

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

| | |
|-----------------|----------|
| DESIGN BY: RM | 03-13-14 |
| DRAWN BY: RM | 03-13-14 |
| CHECKED BY: R/W | 03-13-14 |

| PLAN MODIFICATIONS: | DATE: |
|---------------------|-------|
| | |
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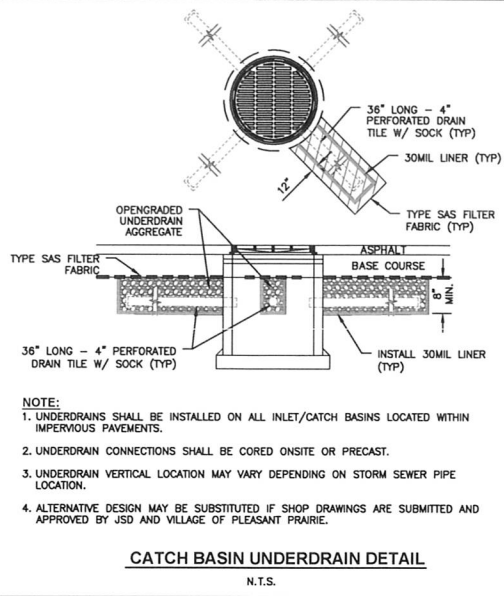
DIGGERS HOTLINE
 Call 811 or (800) 242-8511
 Milwaukee Area (262) 432-7910
 Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com

SHEET TITLE:
MASTER CONCEPTUAL PLAN

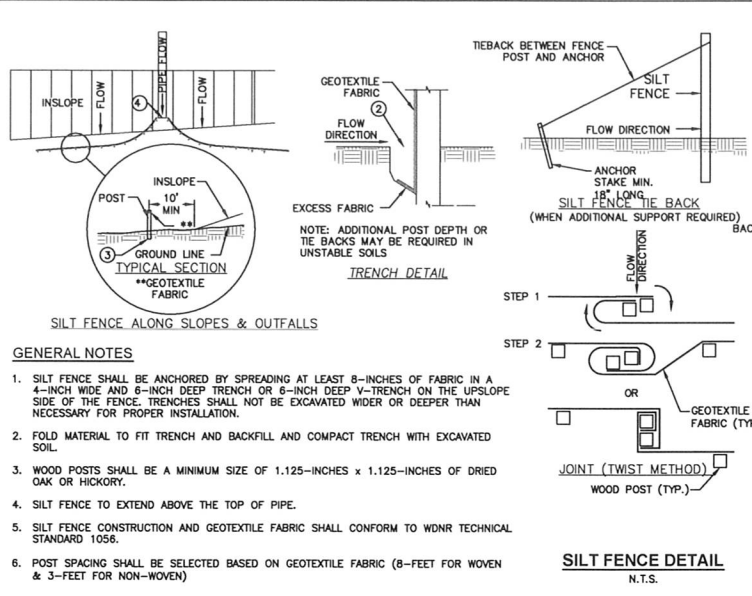
SHEET NUMBER:
C-5.0



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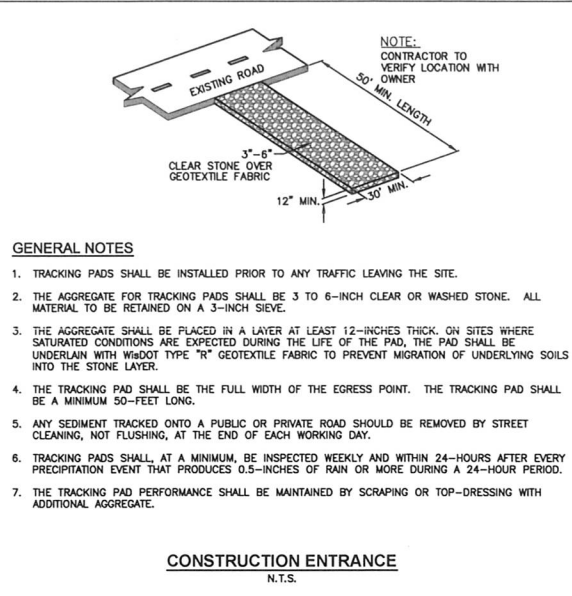
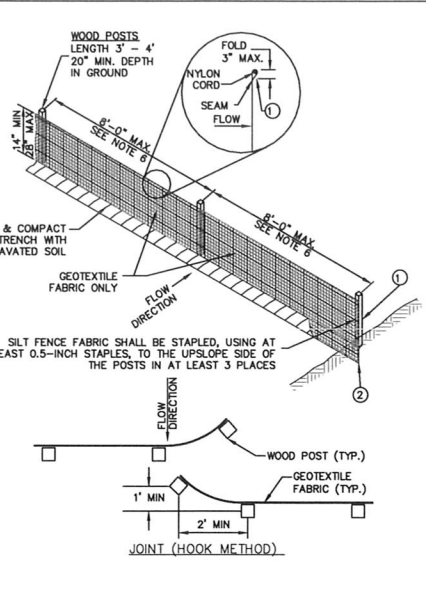
CATCH BASIN UNDERDRAIN DETAIL
N.T.S.



GENERAL NOTES

- SILT FENCE SHALL BE ANCHORED BY SPREADING AT LEAST 8-INCHES OF FABRIC IN A 4-INCH WIDE AND 6-INCH DEEP TRENCH OR 6-INCH DEEP V-TRENCH ON THE UPSLOPE SIDE OF THE FENCE. TRENCHES SHALL NOT BE EXCAVATED WIDER OR DEEPER THAN NECESSARY FOR PROPER INSTALLATION.
- FOLD MATERIAL TO FIT TRENCH AND BACKFILL AND COMPACT TRENCH WITH EXCAVATED SOIL.
- WOOD POSTS SHALL BE A MINIMUM SIZE OF 1.125-INCHES x 1.125-INCHES OF DRIED OAK OR HICKORY.
- SILT FENCE TO EXTEND ABOVE THE TOP OF PIPE.
- SILT FENCE CONSTRUCTION AND GEOTEXTILE FABRIC SHALL CONFORM TO WDMR TECHNICAL STANDARD 1056.
- POST SPACING SHALL BE SELECTED BASED ON GEOTEXTILE FABRIC (8- FEET FOR WOVEN & 3- FEET FOR NON-WOVEN)

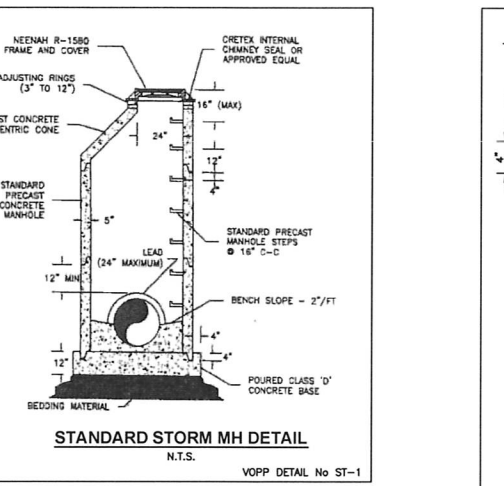
SILT FENCE DETAIL
N.T.S.



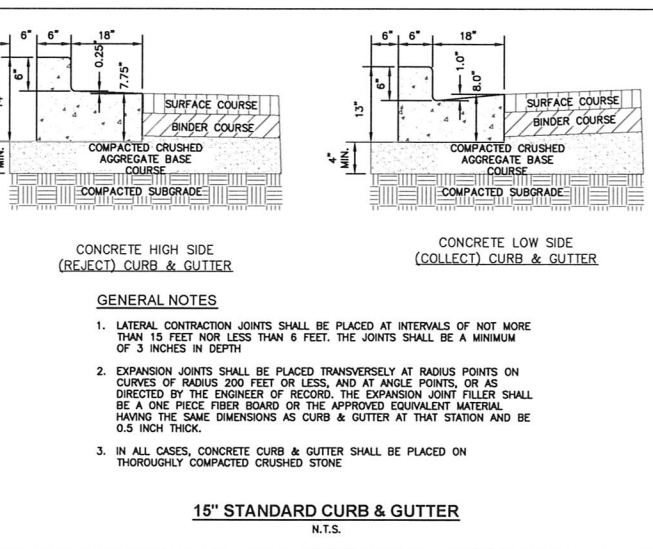
GENERAL NOTES

- TRACKING PADS SHALL BE INSTALLED PRIOR TO ANY TRAFFIC LEAVING THE SITE.
- THE AGGREGATE FOR TRACKING PADS SHALL BE 3 TO 6-INCH CLEAR OR WASHED STONE. ALL MATERIAL TO BE RETAINED ON A 3-INCH SIEVE.
- THE AGGREGATE SHALL BE PLACED IN A LAYER AT LEAST 12-INCHES THICK. ON SITES WHERE SATURATED CONDITIONS ARE EXPECTED DURING THE LIFE OF THE PAD, THE PAD SHALL BE UNDERLAIN WITH WADOT TYPE \"R\" GEOTEXTILE FABRIC TO PREVENT MIGRATION OF UNDERLYING SOILS INTO THE STONE LAYER.
- THE TRACKING PAD SHALL BE THE FULL WIDTH OF THE EGRESS POINT. THE TRACKING PAD SHALL BE A MINIMUM 50- FEET LONG.
- ANY SEDIMENT TRACKED ONTO A PUBLIC OR PRIVATE ROAD SHOULD BE REMOVED BY STREET CLEANING, NOT FLUSHING, AT THE END OF EACH WORKING DAY.
- TRACKING PADS SHALL, AT A MINIMUM, BE INSPECTED WEEKLY AND WITHIN 24-HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5-INCHES OF RAIN OR MORE DURING A 24-HOUR PERIOD.
- THE TRACKING PAD PERFORMANCE SHALL BE MAINTAINED BY SCRAPING OR TOP-DRESSING WITH ADDITIONAL AGGREGATE.

CONSTRUCTION ENTRANCE
N.T.S.



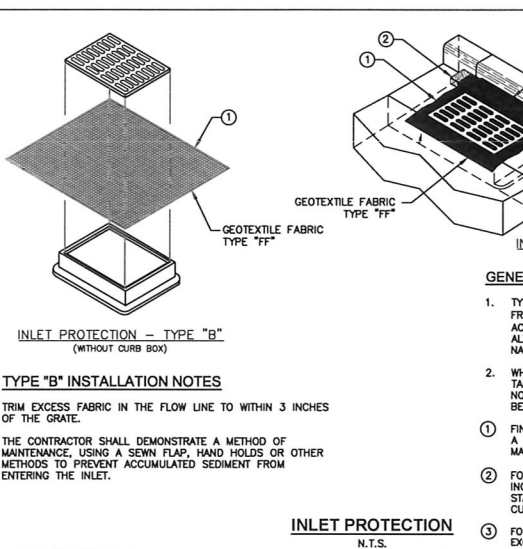
STANDARD STORM MH DETAIL
N.T.S.



GENERAL NOTES

- LATERAL CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 15 FEET NOR LESS THAN 6 FEET. THE JOINTS SHALL BE A MINIMUM OF 3 INCHES IN DEPTH.
- EXPANSION JOINTS SHALL BE PLACED TRANSVERSELY AT RADIUS POINTS ON CURVES OF RADIUS 200 FEET OR LESS, AND AT ANGLE POINTS, OR AS DIRECTED BY THE ENGINEER OF RECORD. THE EXPANSION JOINT FILLER SHALL BE A ONE PIECE FIBER BOARD OR THE APPROVED EQUIVALENT MATERIAL HAVING THE SAME DIMENSIONS AS CURB & GUTTER AT THAT STATION AND BE 0.5 INCH THICK.
- IN ALL CASES, CONCRETE CURB & GUTTER SHALL BE PLACED ON THOROUGHLY COMPACTED CRUSHED STONE.

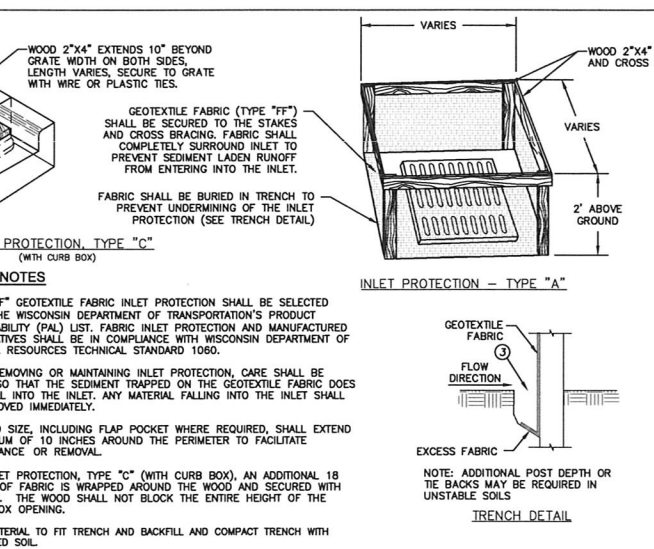
15\"/>



GENERAL NOTES

- TYPE \"FF\" GEOTEXTILE FABRIC INLET PROTECTION SHALL BE SELECTED FROM THE WISCONSIN DEPARTMENT OF TRANSPORTATION'S PRODUCT ACCEPTABILITY (PA) LIST. FABRIC INLET PROTECTION AND MANUFACTURED ALTERNATIVES SHALL BE IN COMPLIANCE WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARD 1060.
- WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.
- FINISHED SIZE, INCLUDING FLAP POCKET WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10 INCHES AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
- FOR INLET PROTECTION, TYPE \"C\" (WITH CURB BOX), AN ADDITIONAL 18 INCHES OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
- FOLD MATERIAL TO FIT TRENCH AND BACKFILL AND COMPACT TRENCH WITH EXCAVATED SOIL.

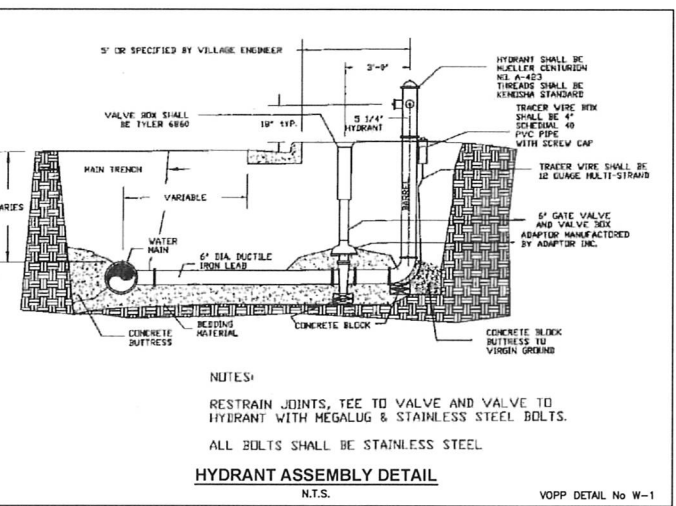
INLET PROTECTION
N.T.S.



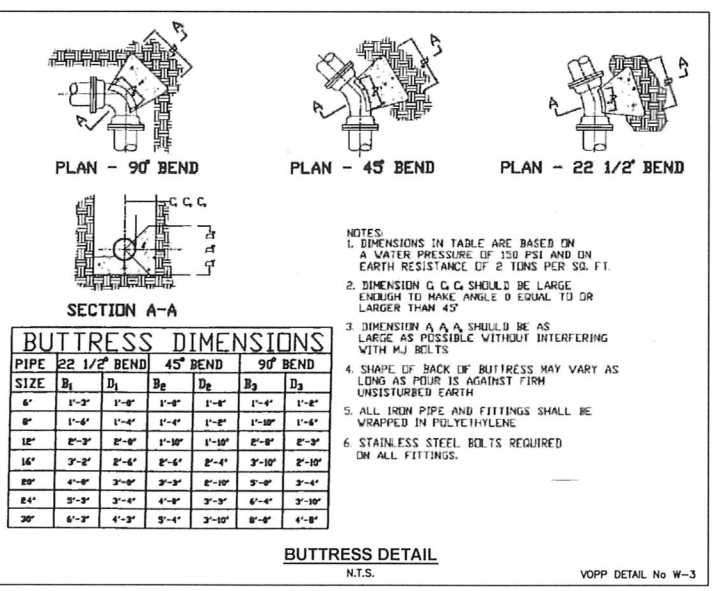
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INLET PROTECTION
N.T.S.



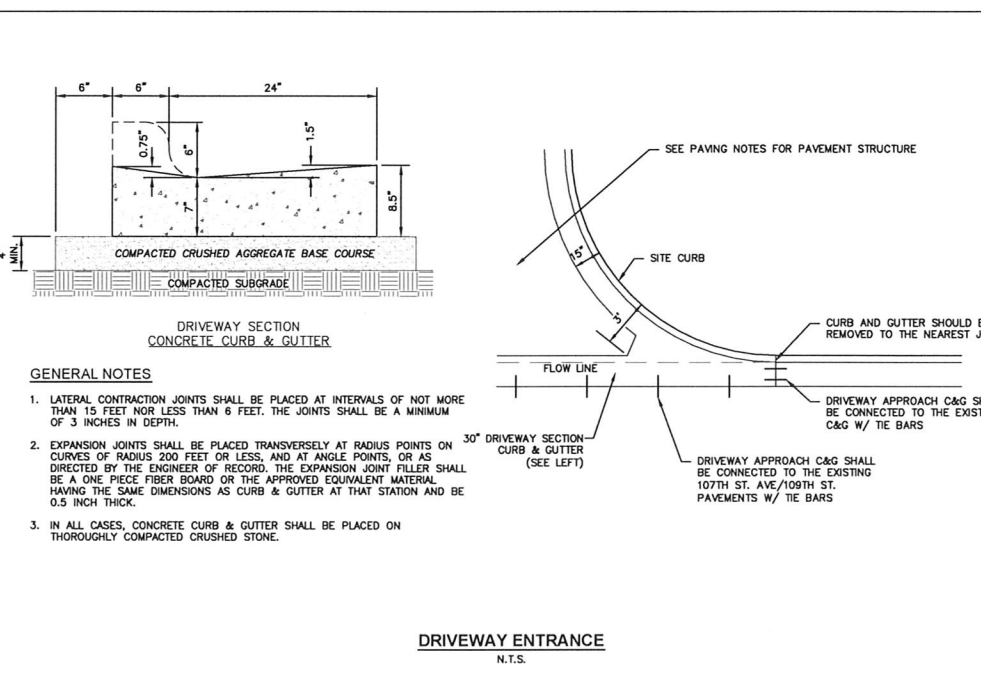
HYDRANT ASSEMBLY DETAIL
N.T.S.



BUTTRESS DIMENSIONS

| PIPE SIZE | 22 1/2\"/> | | | | | |
|-----------|------------|-------|-------|-------|-------|-------|
| 6" | 1'-3" | 1'-4" | 1'-4" | 1'-4" | 1'-4" | 1'-4" |
| 8" | 1'-4" | 1'-4" | 1'-4" | 1'-4" | 1'-4" | 1'-4" |
| 10" | 1'-4" | 1'-4" | 1'-4" | 1'-4" | 1'-4" | 1'-4" |
| 12" | 1'-4" | 1'-4" | 1'-4" | 1'-4" | 1'-4" | 1'-4" |
| 14" | 1'-4" | 1'-4" | 1'-4" | 1'-4" | 1'-4" | 1'-4" |
| 16" | 1'-4" | 1'-4" | 1'-4" | 1'-4" | 1'-4" | 1'-4" |
| 18" | 1'-4" | 1'-4" | 1'-4" | 1'-4" | 1'-4" | 1'-4" |
| 20" | 1'-4" | 1'-4" | 1'-4" | 1'-4" | 1'-4" | 1'-4" |

BUTTRESS DETAIL
N.T.S.



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- IN ALL CASES, CONCRETE CURB & GUTTER SHALL BE PLACED ON THOROUGHLY COMPACTED CRUSHED STONE.

DRIVEWAY ENTRANCE
N.T.S.

JSD Professional Services, Inc.
Engineers • Surveyors • Planners

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MILWAUKEE REGIONAL OFFICE
N22 W2931 NANCY'S COURT SUITE 3
WAUKESHA, WISCONSIN 53186
262.513.0666 PHONE | 262.513.1232 FAX

MADISON | MILWAUKEE
KENOSHA | APPLETON

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SERVICES PROVIDED TO:

Partners in Design
ARCHITECTS

PROJECT:

HOSPICE ALLIANCE

PROJECT LOCATION:

VILLAGE OF PLEASANT PRAIRIE
KENOSHA COUNTY, WI

JSD PROJECT NO.: 14-8080

SEAL/SIGNATURE:

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

DESIGN BY: RWI 03-13-14
DRAWN BY: RWI 03-13-14
CHECKED BY: RWI 03-13-14

PLAN MODIFICATIONS:

| NO. | DATE |
|-----|------|
| | |
| | |
| | |
| | |
| | |

DIGGERS HOTLINE

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Milwaukee Area (262) 432-7910
Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com

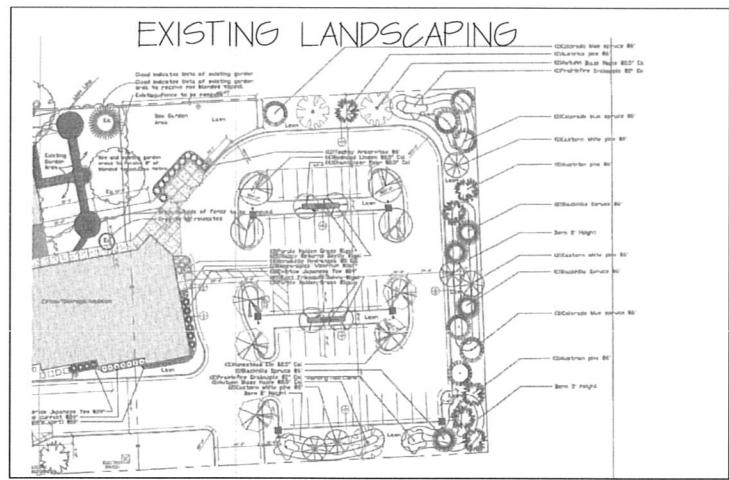
SHEET TITLE:

SITE DETAILS

SHEET NUMBER:

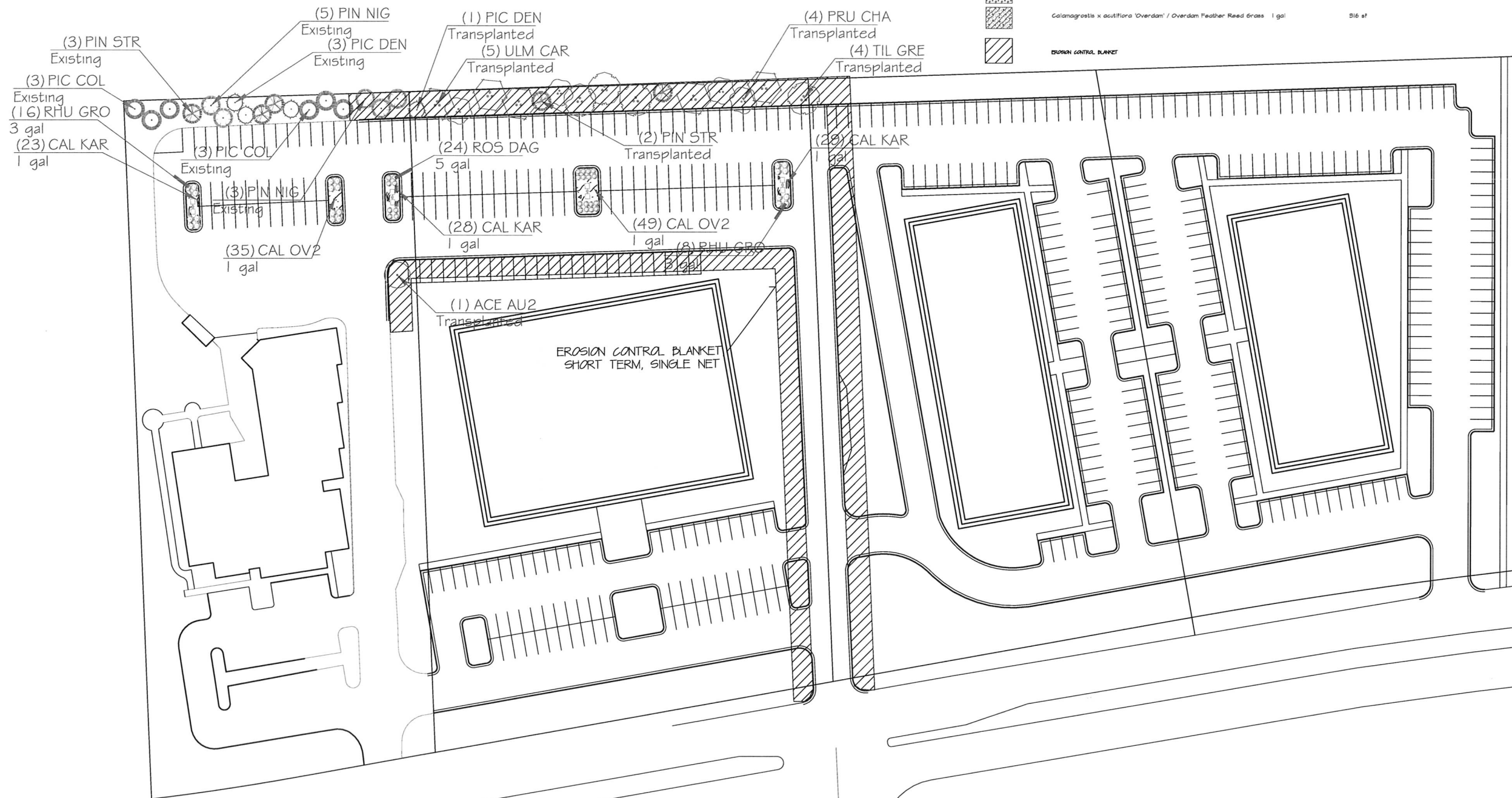
C-6.0

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PLANT SCHEDULE

| TREES | BOTANICAL NAME / COMMON NAME | CONT. | GAL. | QTY. |
|-----------------|---|--------------|------------|--------|
| ○ | Acer freemanii 'Autumn Blaze' / Autumn Blaze Maple | Transplanted | 6"Gal | 1 |
| ○ | Pyrus calleryana 'Chanticleer' / Chanticleer Pear | Transplanted | 6"Gal | 4 |
| ○ | Tilia cordata 'Greenspire' / Greenspire Littleleaf Linden | Transplanted | 6"Gal | 4 |
| ○ | Ulmus x Frontalis / American Elm | Transplanted | 6"Gal | 5 |
| EVERGREEN TREES | BOTANICAL NAME / COMMON NAME | CONT. | GAL. | QTY. |
| ○ | Picea glauca 'Denata' / Black Hills Spruce | Transplanted | | 4 |
| ○ | Picea pungens 'Colorado Green' / Blue Spruce | Existing | | 6 |
| ○ | Pinus nigra / Austrian Black Pine | Existing | | 5 |
| ○ | Pinus strobus / White Pine | Transplanted | 6"Gal | 5 |
| SHRUBS | BOTANICAL NAME / COMMON NAME | SIZE | FIELD QTY. | QTY. |
| ○ | Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac | 5 gal | | 24 |
| ○ | Rosa x Frau Dagmar Hastrup / Rose | 5 gal | | 24 |
| PERENNIALS | BOTANICAL NAME / COMMON NAME | CONT. | FIELD QTY. | QTY. |
| ■ | Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass | 1 gal | | 502 sf |
| ■ | Calamagrostis x acutiflora 'Overdam' / Overdam Feather Reed Grass | 1 gal | | 516 sf |
| ■ | EROSION CONTROL BLANKET | | | |

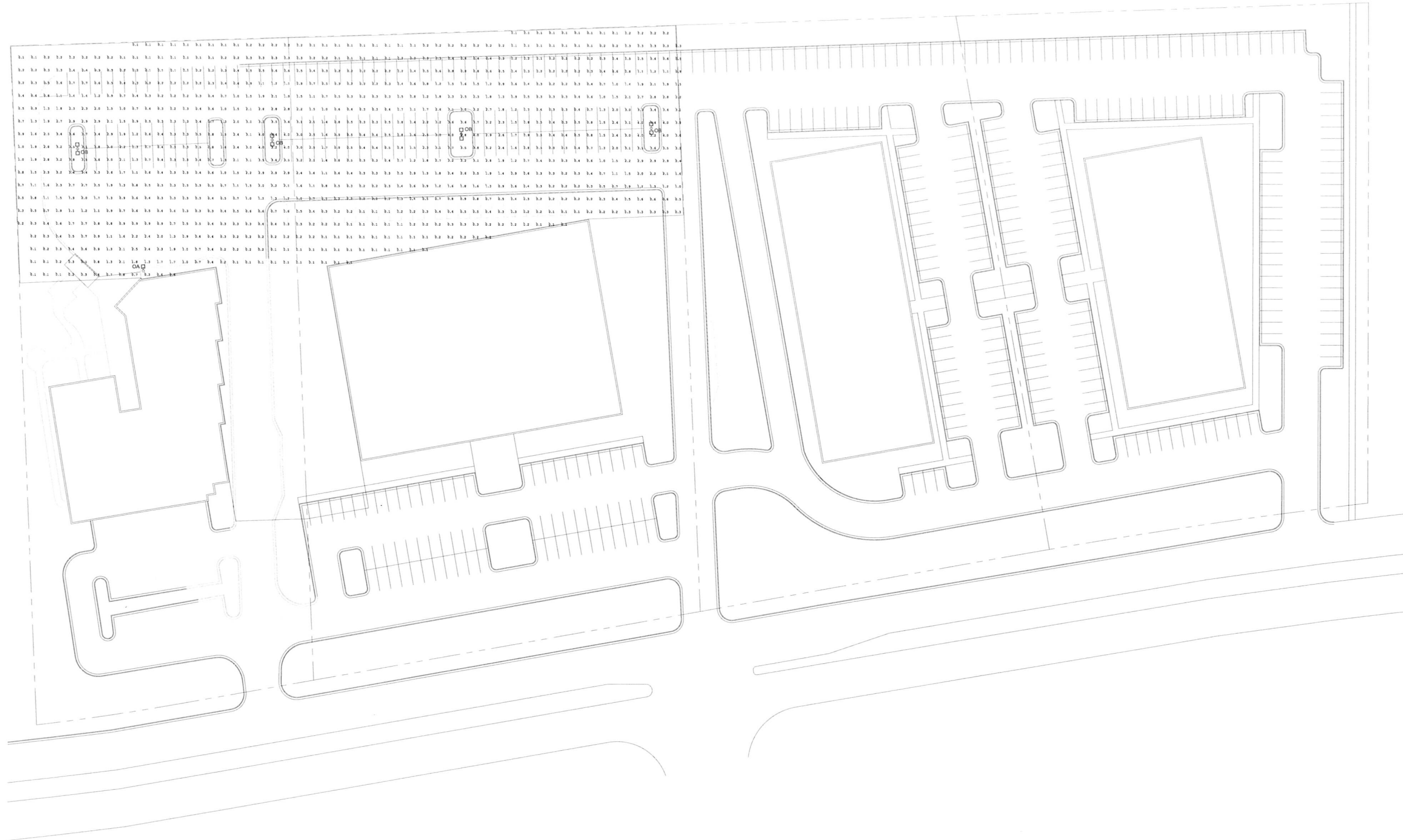


Rev.

Hospice Alliance-Prairie Ridge Decelopment
 Lot 3 Landscape Plan

Date: 3-10-14
 Scale: 1"=40'-0"
 Drawn by: THN





| Luminaire Schedule | | | | | |
|--------------------|-------|-------------|-------------|-------|---|
| Qty | Label | Arrangement | Lum. Lumens | LLF | Description |
| 1 | OA | SINGLE | 8836 | 0.900 | CREE + (1) ARE-EDG-3MB-DA-08-D-UL-525-40K (525mA) |
| 4 | OB | BACK-BACK | 12784 | 0.900 | CREE + (2) ARE-EDG-6M-DA-10-D-UL-525-40K (525mA) |

ALL POLES ARE 18'-0" MOUNTED ON 18" POLE BASES.

| Calculation Summary | | | | | | |
|----------------------|-------------|-------|------|-----|-----|---------|
| Label | CalcType | Units | Avg | Max | Min | Avg/Min |
| | Illuminance | Fc | 0.99 | 4.0 | 0.1 | 9.90 |
| PARKING LOTS & DRIVE | Illuminance | Fc | 1.32 | 4.0 | 0.2 | 8.00 |



Enterprise Lighting LTD

**HOSPICE ALLIANCE
PRAIRIE RIDGE DEVELOPMENT**

SITE LIGHTING PLAN

DATE: FEB. 28, 2014 SCALE: 1" = 30'-0" SHEET NUMBER: E1



Job Name:
Hospice Alliance - Prairie Ridge Development
Contractor: Electrical Contractor's Inc.
(Kenosha)

Catalog Number:
ARE-EDG-3MB-DA-08-D-UL-BZ-525-40K
Notes:

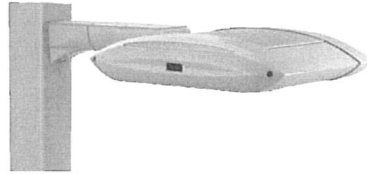
Type:

OA

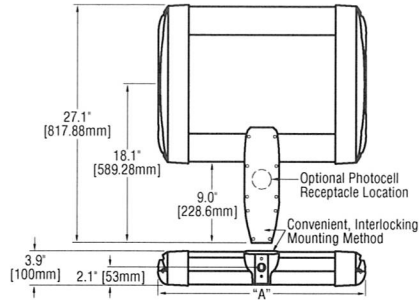
ELL14-39571

ARE-EDG-3M-DA THE EDGE® LED Area Light – Type III Medium

Rev. Date: 8/23/11



Notes:



| # of LEDs | Dim. "A" |
|-----------|----------------|
| 20 | 12.06" [306mm] |
| 40 | 12.06" [306mm] |
| 60 | 14.06" [357mm] |
| 80 | 16.06" [408mm] |
| 100 | 18.06" [459mm] |
| 120 | 20.06" [510mm] |
| 140 | 22.06" [560mm] |
| 160 | 24.06" [611mm] |
| 200 | 28.06" [713mm] |
| 240 | 32.06" [814mm] |

| Product | Family | Optic | Mounting | # of LEDs (x 10) | LED Series | Voltage | Color Options | Drive Current Not Field Adjustable | Factory-Installed Options |
|---------|--------|-------------------------------------|-----------------|--|------------|--|--|--|---|
| ARE | EDG | 3M ¹ 3MB ² | DA ³ | 02 04 06 08 10 12 14 16 20 24 | D | UL Universal 120-277V UH Universal 347-480V 34 347V | SV Silver BK Black BZ Bronze PB Platinum Bronze WH White | 350 350mA 525 ⁴ 525mA 700 ⁵ 700mA | 43K 4300K Color Temperature ⁶ DIM 0-10V Dimming ^{7,8,9} F Fuse ^{10,11,12} HL Hi/Low (175/350/525, dual circuit input) ¹³ P Photocell ^{12,14} R NEMA Photocell Receptacle ^{12,15,16} ML Multi-Level (75/525) ¹³ |

Footnotes

- IESNA Type III Medium distribution
- IESNA Type III Medium distribution w/ backlight control
- Direct mounting arm for use with 3-6" (76-152mm) square or round pole
- Available on fixtures with 20-160 LEDs
- Available on fixtures with 20-60 LEDs
- Color temperature per fixture 6000K standard minimum 70 CRI
- Control by others
- Refer to dimming spec sheet for availability and additional information
- Not available when UH voltage is selected
- When code dictates fusing use time delay fuse
- Not available with all multi-level options. Refer to the multi-level spec sheet for availability and additional information
- Refer to multi-level spec sheet for availability and additional information
- Must specify voltage other than UH
- Intended for horizontal mounting
- Photocell by others

| # of LEDs | Initial Delivered Lumens – Type III Medium @ 6000K | B U G | | | Initial Delivered Lumens – Type III Medium w/ backlight control @ 6000K | B U G | | | Initial Delivered Lumens – Type III Medium @ 4300K | B U G | | | System Watts 120-480V | Total Current @ 120V | Total Current @ 240V | Total Current @ 277V | Total Current @ 347V | Total Current @ 480V | L ₈₀ Hours* @ 25° C (77° F) | 50K Hours Lumen Maintenance Factor* @ 15° C (59° F) | | |
|---|--|----------|----------|----------|---|----------|----------|----------|--|----------|---|---|-----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|--|---|-----|--|
| | | Rating** | Rating** | Rating** | | Rating** | Rating** | Rating** | | Rating** | | | | | | | | | | | | |
| 350mA Fixture Operating at 25° C (77° F) | | | | | | | | | | | | | | | | | | | | | | |
| 20 | 1,814 (02) | 1 | 1 | 1 | 1,342 (02) | 0 | 1 | 1 | 1,672 (02) | 1 | 1 | 1 | 26 | 0.20 | 0.11 | 0.10 | 0.09 | 0.07 | >150,000 | 93% | | |
| 40 | 3,628 (04) | 1 | 1 | 1 | 2,683 (04) | 1 | 1 | 1 | 3,343 (04) | 1 | 1 | 1 | 47 | 0.40 | 0.21 | 0.19 | 0.15 | 0.12 | >150,000 | | | |
| 60 | 5,371 (06) | 2 | 2 | 2 | 3,973 (06) | 1 | 2 | 1 | 4,950 (06) | 2 | 2 | 2 | 68 | 0.58 | 0.30 | 0.26 | 0.20 | 0.16 | >150,000 | | | |
| 80 | 7,161 (08) | 2 | 2 | 2 | 5,298 (08) | 1 | 2 | 2 | 6,600 (08) | 2 | 2 | 2 | 90 | 0.77 | 0.38 | 0.34 | 0.26 | 0.20 | >150,000 | | | |
| 100 | 8,929 (10) | 3 | 3 | 3 | 6,605 (10) | 1 | 3 | 2 | 8,230 (10) | 2 | 2 | 2 | 111 | 0.95 | 0.47 | 0.42 | 0.32 | 0.24 | >150,000 | | | |
| 120 | 10,715 (12) | 3 | 3 | 3 | 7,926 (12) | 1 | 3 | 2 | 9,876 (12) | 3 | 3 | 3 | 132 | 1.15 | 0.56 | 0.50 | 0.38 | 0.28 | >150,000 | | | |
| 140 | 12,444 (14) | 3 | 3 | 3 | 9,205 (14) | 1 | 3 | 2 | 11,469 (14) | 3 | 3 | 3 | 157 | 1.34 | 0.67 | 0.61 | 0.47 | 0.35 | 149,000 | | | |
| 160 | 14,222 (16) | 3 | 3 | 3 | 10,520 (16) | 1 | 3 | 2 | 13,108 (16) | 3 | 3 | 3 | 179 | 1.54 | 0.76 | 0.68 | 0.53 | 0.39 | 149,000 | | | |
| 200 | 17,778 (20) | 3 | 3 | 3 | 13,151 (20) | 2 | 3 | 3 | 16,385 (20) | 3 | 3 | 3 | 221 | 1.92 | 0.95 | 0.84 | 0.65 | 0.48 | 149,000 | | | |
| 240 | 21,333 (24) | 3 | 3 | 3 | 15,781 (22) | 2 | 3 | 3 | 19,662 (24) | 3 | 3 | 3 | 264 | 2.30 | 1.12 | 1.00 | 0.77 | 0.56 | 149,000 | | | |
| 525mA Fixture Operating at 25° C (77° F) | | | | | | | | | | | | | | | | | | | | | | |
| 20 | 2,539 (02) | 1 | 1 | 1 | 1,878 (02) | 0 | 1 | 1 | 2,340 (02) | 1 | 1 | 1 | 37 | 0.31 | 0.17 | 0.16 | 0.12 | 0.10 | 136,000 | 92% | | |
| 40 | 5,079 (04) | 2 | 2 | 2 | 3,757 (04) | 1 | 2 | 1 | 4,681 (04) | 2 | 2 | 2 | 70 | 0.57 | 0.29 | 0.26 | 0.21 | 0.16 | 136,000 | | | |
| 60 | 7,520 (06) | 2 | 2 | 2 | 5,562 (06) | 1 | 2 | 2 | 6,930 (06) | 2 | 2 | 2 | 102 | 0.87 | 0.44 | 0.39 | 0.30 | 0.22 | 129,000 | | | |
| 80 | 10,026 (08) | 3 | 3 | 3 | 7,417 (08) | 1 | 3 | 2 | 9,240 (08) | 3 | 3 | 3 | 133 | 1.14 | 0.56 | 0.49 | 0.39 | 0.29 | 129,000 | | | |
| 100 | 12,501 (10) | 3 | 3 | 3 | 9,247 (10) | 1 | 3 | 2 | 11,521 (10) | 3 | 3 | 3 | 172 | 1.47 | 0.75 | 0.67 | 0.51 | 0.38 | 128,000 | | | |
| 120 | 15,001 (12) | 3 | 3 | 3 | 11,097 (12) | 1 | 3 | 2 | 13,826 (12) | 3 | 3 | 3 | 204 | 1.76 | 0.88 | 0.78 | 0.60 | 0.44 | 128,000 | | | |
| 140 | 17,422 (14) | 3 | 3 | 3 | 12,888 (14) | 2 | 3 | 2 | 16,057 (14) | 3 | 3 | 3 | 233 | 2.01 | 0.99 | 0.87 | 0.69 | 0.51 | 123,000 | | | |
| 160 | 19,911 (16) | 3 | 3 | 3 | 14,729 (16) | 2 | 3 | 2 | 18,351 (16) | 3 | 3 | 3 | 265 | 2.29 | 1.11 | 0.98 | 0.78 | 0.57 | 123,000 | | | |
| 700mA Fixture Operating at 25° C (77° F) | | | | | | | | | | | | | | | | | | | | | | |
| 20 | 3,102 (02) | 1 | 1 | 1 | 2,281 (02) | 0 | 1 | 1 | 2,858 (02) | 1 | 1 | 1 | 50 | 0.42 | 0.22 | 0.20 | 0.15 | 0.12 | 111,000 | | 90% | |
| 40 | 6,203 (04) | 2 | 2 | 2 | 4,562 (04) | 1 | 2 | 1 | 5,717 (04) | 2 | 2 | 2 | 93 | 0.79 | 0.40 | 0.35 | 0.27 | 0.20 | 111,000 | | | |
| 60 | 9,185 (06) | 3 | 3 | 3 | 6,754 (06) | 1 | 3 | 2 | 8,465 (06) | 3 | 3 | 2 | 137 | 1.18 | 0.59 | 0.51 | 0.39 | 0.29 | 111,000 | | | |

* For recommended lumen maintenance factor data see TD-13

** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit www.iesna.org/PDF/Erratas/TM-15-07BugRatingsAddendum.pdf

NOTE: All data subject to change without notice.

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Made in the U.S.A. of U.S. and imported parts.
Meets Buy American requirements within the ARRA.

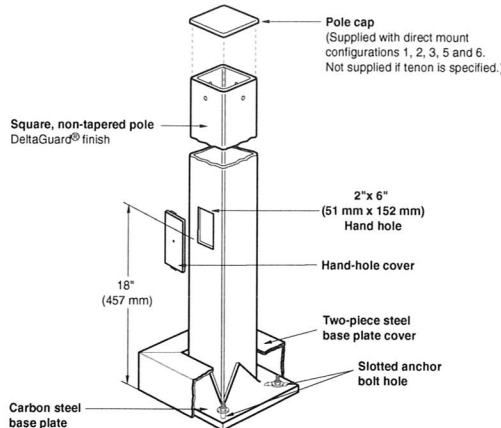
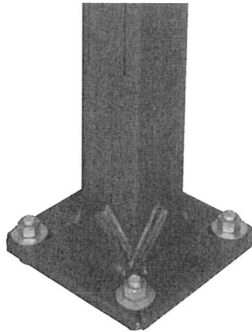




PS

Crown-Weld® Square Straight Steel Poles

Beta Catalog Number:



Notes:

| Catalog Number | Height (feet) x Width (inches) x Wall (inches) | Bolt Circle/Range (inches) | Bolt Size (inches) | Pole "EPA" Ratings Pole Base Wind Velocity | | | | | | | | Mount Configuration* | Color Options† |
|----------------|--|----------------------------|--------------------|--|------|------|------|------|------|------|------|-----------------------|----------------|
| | | | | 70 | 80 | 90 | 100 | 110 | 120 | 130 | 140 | | |
| PS3S10C*† | 10 x 3 x 0.125 | 10/9.3-11 | 3/4 | 31.4 | 23.6 | 18.2 | 14.3 | 11.5 | 9.3 | 7.0 | 6.3 | 1 Single ¹ | BZ |
| PS3S15C*† | 15 x 3 x 0.125 | 10/9.3-11 | 3/4 | 18.5 | 13.4 | 9.9 | 7.4 | 5.5 | 4.1 | 3.0 | 2.2 | 2 Twin @ 180° | BK |
| PS3S20C*† | 20 x 3 x 0.125 | 10/9.3-11 | 3/4 | 11.5 | 7.8 | 5.2 | 3.3 | 2.0 | 0.9 | 0.1 | 0.0 | 2 Twin @ 180° | WH |
| PS4S10C*† | 10 x 4 x 0.125 | 10/9.3-11 | 3/4 | 59.9 | 45.2 | 35.1 | 27.9 | 22.6 | 18.5 | 15.4 | 12.9 | 3 Twin @ 90° | PB |
| PS4S12C*† | 12 x 4 x 0.125 | 10/9.3-11 | 3/4 | 48.4 | 36.2 | 27.9 | 21.9 | 17.5 | 14.2 | 11.6 | 9.5 | 3 Twin @ 90° | SV |
| PS4S15C*† | 15 x 4 x 0.125 | 10/9.3-11 | 3/4 | 36.5 | 26.9 | 20.3 | 15.6 | 12.1 | 9.5 | 7.4 | 5.8 | 5 Triple ¹ | |
| PS4S17C*† | 17 x 4 x 0.125 | 10/9.3-11 | 3/4 | 30.7 | 22.3 | 16.6 | 12.5 | 9.41 | 7.1 | 5.3 | 3.9 | 6 Quad ¹ | |
| PS4S20C*† | 20 x 4 x 0.125 | 10/9.3-11 | 3/4 | 24.0 | 16.9 | 12.1 | 8.7 | 6.1 | 4.2 | 2.7 | 1.5 | T Tenon ² | |
| PS4S22C*† | 22 x 4 x 0.125 | 10/9.3-11 | 3/4 | 20.4 | 14.0 | 9.7 | 6.6 | 4.3 | 2.5 | 1.2 | 0.1 | | |
| PS4S25C*† | 25 x 4 x 0.125 | 10/9.3-11 | 3/4 | 15.9 | 10.4 | 6.6 | 3.9 | 1.9 | 0.4 | 0.0 | 0.0 | | |
| PS4S25S*† | 25 x 4 x 0.188 | 10/9.3-11 | 3/4 | 25.3 | 17.6 | 12.3 | 8.5 | 5.7 | 3.6 | 1.9 | 0.6 | | |
| PS4S27R*† | 27 x 4 x 0.125 | 10/9.3-11 | 3/4 | 22.0 | 14.9 | 10.0 | 6.6 | 4.0 | 2.0 | 0.0 | 0.0 | | |
| PS4S30R*† | 30 x 4 x 0.125 | 10/9.3-11 | 3/4 | 17.7 | 11.4 | 7.1 | 4.0 | 1.7 | 0.0 | 0.0 | 0.0 | | |
| PS4S30H*† | 30 x 4 x 0.188 | 10/9.3-11 | 3/4 | 19.5 | 12.5 | 7.8 | 4.4 | 1.9 | 0.0 | 0.0 | 0.0 | | |
| PS5S25S*† | 25 x 5 x 0.188 | 10/9.7-11.3 | 1 | 43.9 | 31.4 | 22.8 | 16.6 | 12.1 | 8.7 | 6.0 | 3.8 | | |
| PS5S30S*† | 30 x 5 x 0.188 | 10/9.7-11.3 | 1 | 32.2 | 21.9 | 14.9 | 9.9 | 6.2 | 3.4 | 1.2 | 0.0 | | |
| PS6S30S*† | 30 x 6 x 0.188 | 11.5/11.3-12.8 | 1 | 50.8 | 35.7 | 25.3 | 17.9 | 12.4 | 8.2 | 4.9 | 2.4 | | |

Field-Installed Accessories

GFI Outlet Accessory - 120V



- REC-GF1BZ REC-GF1PB
- REC-GF1BK REC-GF1SV
- REC-GF1WH

1-Direct mount pole configuration; add prefix "2" to configuration numbers for fixtures with Fixed 20° mount (i.e. "21", "22", "23", "25", "26") Example PS6S30S21BZ
2-Order tenon separately

General Description

Non-tapered square steel poles are supplied with welded base with cover, four galvanized anchor bolts, masonite mounting template and a pole cap (except tenon mount). Each anchor bolt is provided with two washers and two nuts. Steel pole base has slotted holes. Per National Electrical Code requirements, pole is standard with a 2" x 6" (51 x 152 mm) hand hole, located 18" (457 mm) above bottom of pole base. A #10-32 stainless-steel weld stud with grounding lug is located inside pole, opposite hand hole; a hand hole cover is supplied but shipped separately. In addition, 4" x 27" and 4" x 30" poles include an internal 5/16" steel reinforced sleeve welded inside the bottom 24" of the pole, as well as a reinforcement welded around the hand hole for added strength.

Materials

Square, non-tapered pole of structural steel tubing (ASTM A 500); with a minimum yield strength of 46,000 p.s.i. Welded to a formed carbon steel base plate with a minimum yield strength of 36,000 p.s.i.

Finish

Exclusive Colorfast DeltaGuard™ finish features an E-Coat epoxy primer with an ultra-durable powder topcoat, providing excellent resistance to corrosion, ultraviolet degradation and abrasion. The finish is covered by our 7 year limited warranty.

Labels

Beta Lighting square steel poles meet or exceed National Electrical Code Requirements. In the US, Beta square poles are classified by Underwriters Laboratories Inc. for electrical ground bonding; in Canada, they are CSA certified for electrical ground bonding and structural strength.

Patents

US 5,820,255; 6,640,517; Patent pending



- E. Consider approval of a **Certified Survey Map** to combine the Village owned properties located at 9915 39th Avenue and the vacant property to the north and to dedicate additional right-of-way for the future 39th Avenue and Springbrook Road roadway improvements.

Recommendation: Village staff recommends that the Plan Commission send a favorable recommendation to the Village Board to approve the **Certified Survey Map** subject to compliance with the comments and conditions of the Village Staff Report of April 14, 2014.

VILLAGE STAFF REPORT OF APRIL 14, 2014

Consider approval of a **Certified Survey Map** to combine the Village owned properties located at 9915 39th Avenue and the vacant property to the north and to dedicate additional right-of-way for the future 39th Avenue Springbrook Road roadway improvements.

The Village is requesting to combine the Village owned properties located at 9915 39th Avenue and the vacant property to the north and to dedicate additional right-of-way for the future 39th Avenue roadway improvements.

After the combination of the lots and the dedication of additional right-of-way the property will be 8.189 acres. It is the intension as a subsequent meeting the entire property will be rezoned into the I-1, Institutional District.

Village staff recommends that the Plan Commission send a favorable recommendation to the Village Board to approve the **Certified Survey Map** subject to compliance with the above comments and recording the CSM at the Kenosha County Register of Deeds Office 30 days of Village Board approval.



RECEIVED
APR 9 - 2014
Village of Pleasant Prairie

Filed 4/9 2014
Fee Paid 20
PC Meeting Date 4/14 2014
VB Meeting Date 7/21 2014
Approved 20
Denied 20

VILLAGE OF PLEASANT PRAIRIE
CERTIFIED SURVEY MAP APPLICATION

To: Village Plan Commission & Village Board of Trustees of the Village of Pleasant Prairie:

I, (We), the undersigned owner(s)/agent do hereby petition the Village Board to amend the Village of Pleasant Prairie Zoning Map as hereinafter requested.

It is petitioned that the following described property be subdivided with a Certified Survey Map (CSM)

The property petitioned to be subdivided is located at: 9915 39th Avenue

and is legally described as follows: see attached CSM

Tax Parcel Number(s): 92-4-122-243-0020 and 92-4-122-243-0025

- The property abuts or adjoins a State Trunk Highway [] Yes [X] No
The property abuts or adjoins a County Trunk Highway [X] Yes [] No
Municipal Sanitary Sewer is available to service said properties [X] Yes [] No
Municipal Water is available to service said properties [X] Yes [] No

I (We), have contacted the Community Development Department to arrange a pre-application meeting to discuss the proposed request with the Village staff to determine additional information that may be needed to consider the request.

I, (We), hereby certify that all the above statements and attachments submitted herewith are true and correct to the best of my knowledge.

PROPERTY OWNER:

Print Name: Village of Pleasant Prairie

Signature: [Handwritten Signature]

Address: 9915 39th Avenue

Pleasant Prairie WI 53158
(City) (State) (Zip)

Phone: 262-925-6721

Fax: 262-694-4734

Date: 4/8/14

OWNER'S AGENT:

Print Name: _____

Signature: _____

Address: _____

(City) (State) (Zip)

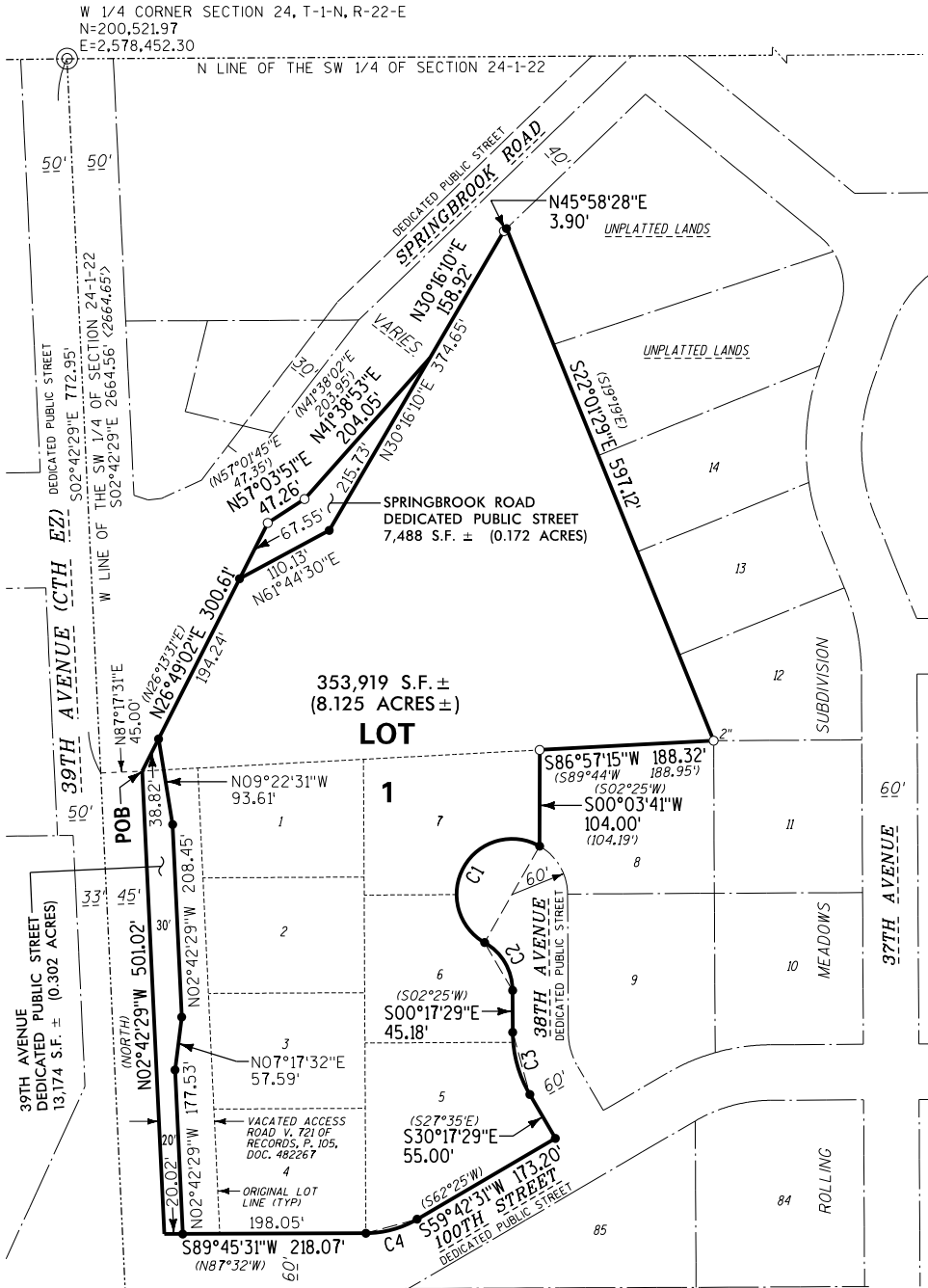
Phone: _____

Fax: _____

Date: _____

CERTIFIED SURVEY MAP NO.

LOTS 1-7 OF ROLLING MEADOWS SUBDIVISION INCLUDING ACCESS ROAD AS VACATED IN V. 721 OF RECORDS, P. 105, DOC. 482267 AND LANDS LOCATED IN THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 24, TOWN 1 NORTH, RANGE 22 EAST, VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.



RECORDING AREA
PREPARED FOR /OWNER:
 VILLAGE OF PLEASANT PRAIRIE
 9915 39TH AVENUE
 PLEASANT PRAIRIE, WISCONSIN 53158

EXISTING TAX PARCEL NUMBERS:
 92-4-122-243-0020 AND 92-4-122-243-0025

ZONING:
 I-1, INSTITUTIONAL DISTRICT AND
 PUD, PLANNED UNIT DEVELOPMENT OVERLAY
 STREET SETBACK: 65' FROM ARTERIAL STREETS
 OR HIGHWAYS. 30' FROM NON ARTERIAL STREET
 OR PRIVATE ROADS.
 REAR & SIDE YARD SETBACK: 25'
 OHWM SETBACK: 75'
 WETLAND: 25'
 MINIMUM LOT SIZE: 1 ACRE
 MINIMUM FRONTAGE: 150'

DATUM:
 HORIZONTAL DATUM: WISCONSIN STATE PLANE
 COORDINATE SYSTEM GRID, SOUTH ZONE, NAD 27

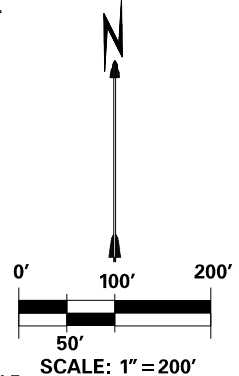
BEARING BASIS: GRID NORTH AND THE WEST LINE OF THE SOUTHWEST 1/4 OF SECTION 24-1-22 WHICH BEARS N02°42'29"W.

NOTES:
 SEE SHEET 2 FOR EXISTING BUILDING AND EASEMENT LOCATIONS.

SEE SHEET 3 FOR NEW RESTRICTIVE COVENANT LOCATIONS.

SEE SHEETS 4-5 FOR DEDICATIONS AND RESTRICTIVE COVENANTS.

SEE SHEETS 6-7 FOR CERTIFICATES AND APPROVALS.



CURVE TABLE

| # | LENGTH | RADIUS | DELTA | CHORD | CHORD BEARING | TANGENT IN | TANGENT OUT |
|----|---------|---------|------------|---------|---------------|-------------|-------------|
| C1 | 188.52' | 60.00' | 180°01'14" | 120.00' | S29°43'08"W | ----- | ----- |
| C2 | 62.83' | 60.00' | 60°00'00" | 60.00' | S30°17'29"E | ----- | S00°17'29"E |
| C3 | 70.50' | 134.64' | 30°00'00" | 69.70' | S15°17'29"E | S00°17'29"E | S30°17'29"E |
| C4 | 58.09' | 110.76' | 30°03'00" | 57.43' | S74°44'01"W | S59°42'31"W | S89°45'31"W |

"RECORDED AS" CURVE TABLE

| # | LENGTH | RADIUS | DELTA | CHORD | CHORD BEARING |
|----|-----------|----------|--------------|----------|---------------|
| C1 | (188.50') | ----- | (180°00'00") | ----- | ----- |
| C2 | (62.84') | (60.00') | ----- | (60.00') | (S27°35'E) |
| C3 | ----- | ----- | ----- | (69.70') | (S12°35'E) |
| C4 | ----- | ----- | ----- | (57.42') | (S77°26'30"W) |

SW CORNER SECTION 24, T-1-N, R-22-E
 N=197,860.39
 E=2,578,578.19

LEGEND

- ⊙ CONCRETE MONUMENT WITH WISDOT ALUMINUM CAP
- CONCRETE MONUMENT WITH SEWRPC BRASS CAP
- FOUND 1.25" OD IRON PIPE UNLESS NOTED OTHERWISE
- SET 3/4" X 24" IRON ROD WEIGHING 1.50 LBS/LIN FT
- () RECORDED AS

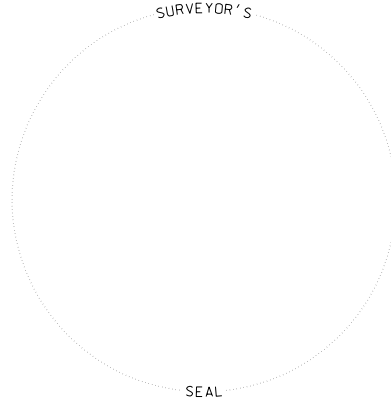


gai consultants

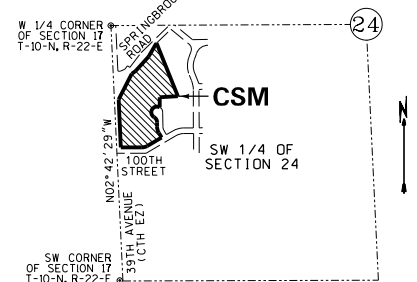
700 GENEVA PARKWAY
 LAKE GENEVA, WI 53147
 262.348.5600 • FAX 262.348.9979
 PROJECT NO. W132090.00

APRIL 10, 2014

THIS INSTRUMENT WAS DRAFTED BY: MICHAEL RUBENDALL



TERRANCE E. PISAREK
 WISCONSIN REGISTERED LAND SURVEYOR, S-1930

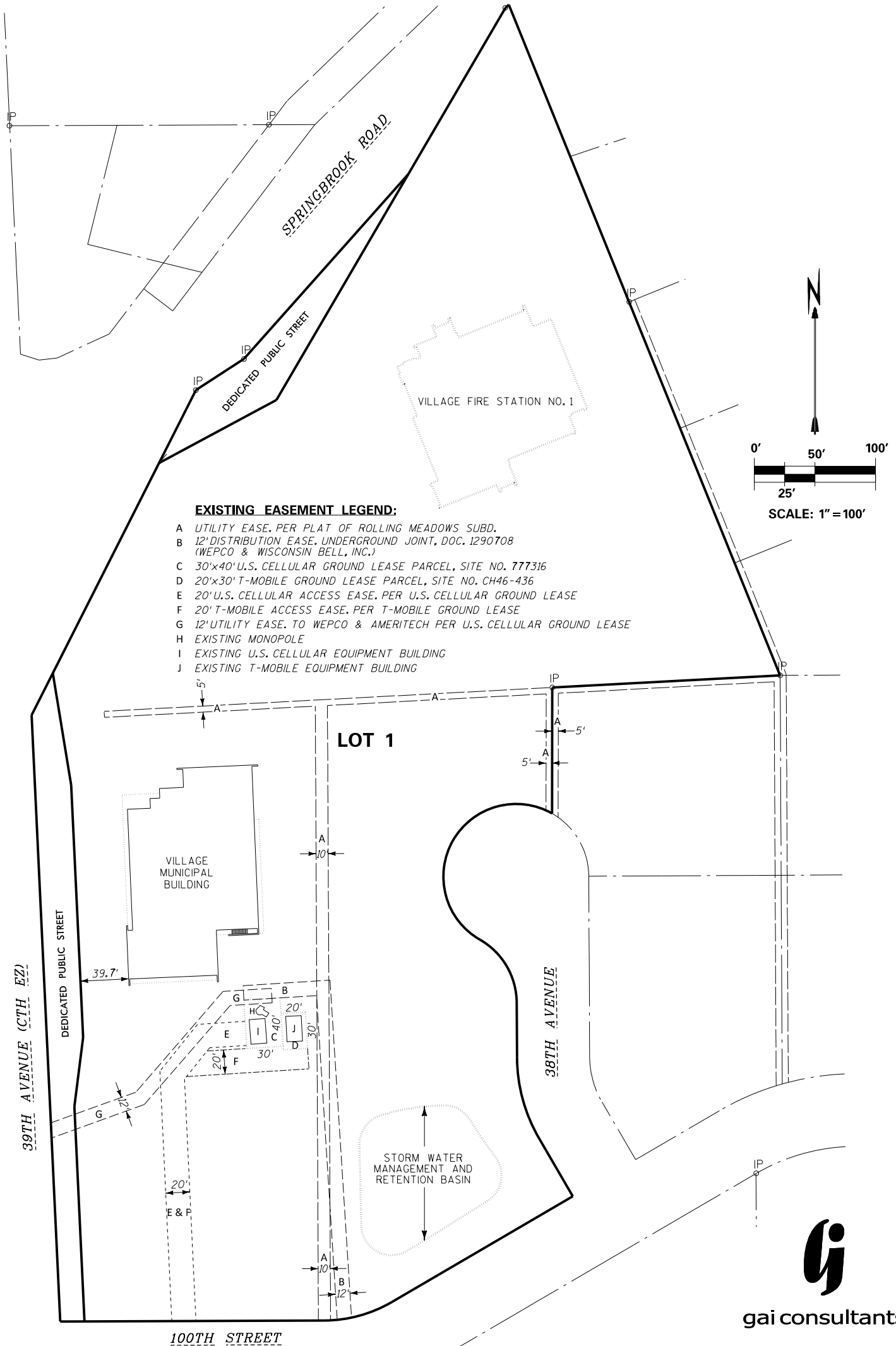


LOCATION MAP

1" = 2000'

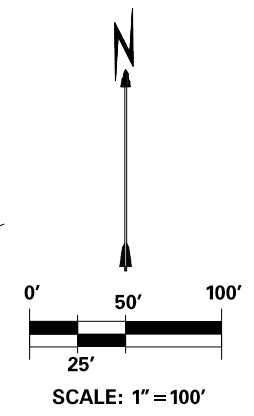
CERTIFIED SURVEY MAP NO.

LOTS 1-7 OF ROLLING MEADOWS SUBDIVISION INCLUDING ACCESS ROAD AS VACATED IN V. 721 OF RECORDS, P. 105, DOC. 482267 AND LANDS LOCATED IN THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 24, TOWN 1 NORTH, RANGE 22 EAST, VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.



EXISTING EASEMENT LEGEND:

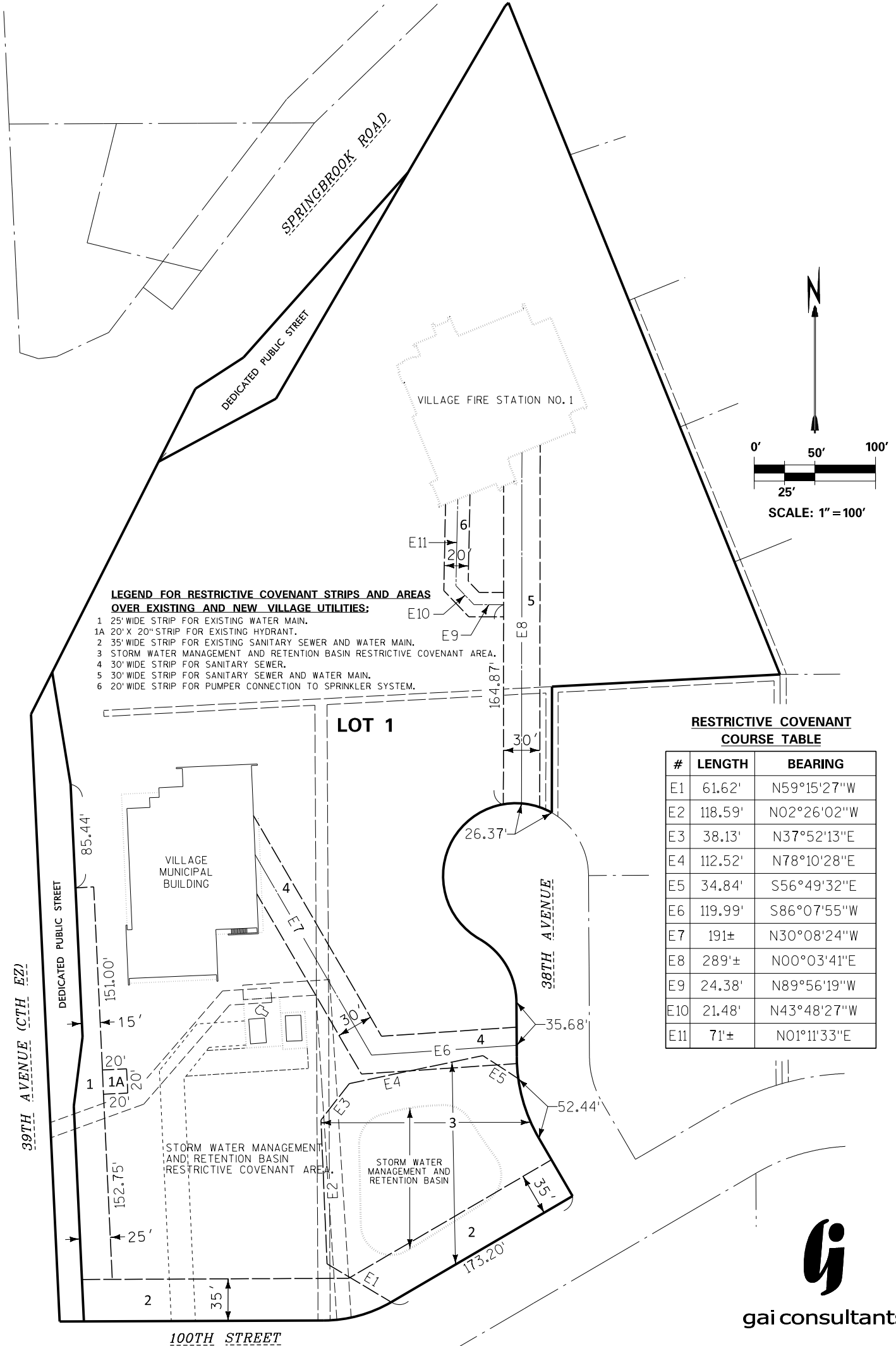
- A UTILITY EASE, PER PLAT OF ROLLING MEADOWS SUBD.
- B 12' DISTRIBUTION EASE, UNDERGROUND JOINT, DOC. 1290708 (WEPCO & WISCONSIN BELL, INC.)
- C 30'x40' U.S. CELLULAR GROUND LEASE PARCEL, SITE NO. 777316
- D 20'x30' T-MOBILE GROUND LEASE PARCEL, SITE NO. CH46-436
- E 20' U.S. CELLULAR ACCESS EASE, PER U.S. CELLULAR GROUND LEASE
- F 20' T-MOBILE ACCESS EASE, PER T-MOBILE GROUND LEASE
- G 12' UTILITY EASE, TO WEPCO & AMERITECH PER U.S. CELLULAR GROUND LEASE
- H EXISTING MONOPOLE
- I EXISTING U.S. CELLULAR EQUIPMENT BUILDING
- J EXISTING T-MOBILE EQUIPMENT BUILDING



gai consultants

CERTIFIED SURVEY MAP NO.

LOTS 1-7 OF ROLLING MEADOWS SUBDIVISION INCLUDING ACCESS ROAD AS VACATED IN V. 721 OF RECORDS, P. 105, DOC. 482267 AND LANDS LOCATED IN THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 24, TOWN 1 NORTH, RANGE 22 EAST, VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.



- LEGEND FOR RESTRICTIVE COVENANT STRIPS AND AREAS OVER EXISTING AND NEW VILLAGE UTILITIES:**
- 1 25' WIDE STRIP FOR EXISTING WATER MAIN.
 - 1A 20' X 20" STRIP FOR EXISTING HYDRANT.
 - 2 35' WIDE STRIP FOR EXISTING SANITARY SEWER AND WATER MAIN.
 - 3 STORM WATER MANAGEMENT AND RETENTION BASIN RESTRICTIVE COVENANT AREA.
 - 4 30' WIDE STRIP FOR SANITARY SEWER.
 - 5 30' WIDE STRIP FOR SANITARY SEWER AND WATER MAIN.
 - 6 20' WIDE STRIP FOR PUMPER CONNECTION TO SPRINKLER SYSTEM.

RESTRICTIVE COVENANT COURSE TABLE

| # | LENGTH | BEARING |
|-----|---------|-------------|
| E1 | 61.62' | N59°15'27"W |
| E2 | 118.59' | N02°26'02"W |
| E3 | 38.13' | N37°52'13"E |
| E4 | 112.52' | N78°10'28"E |
| E5 | 34.84' | S56°49'32"E |
| E6 | 119.99' | S86°07'55"W |
| E7 | 191± | N30°08'24"W |
| E8 | 289± | N00°03'41"E |
| E9 | 24.38' | N89°56'19"W |
| E10 | 21.48' | N43°48'27"W |
| E11 | 71± | N01°11'33"E |



CERTIFIED SURVEY MAP NO.

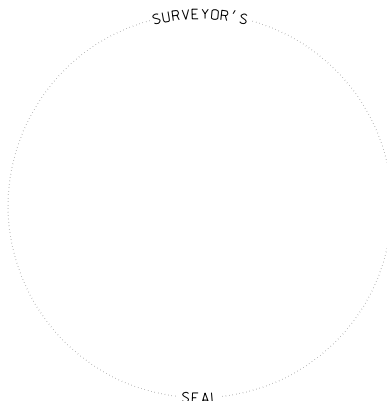
LOTS 1-7 OF ROLLING MEADOWS SUBDIVISION INCLUDING ACCESS ROAD AS VACATED IN V. 721 OF RECORDS, P. 105, DOC. 482267 AND LANDS LOCATED IN THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 24, TOWN 1 NORTH, RANGE 22 EAST, VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.

DEDICATED PUBLIC STREET

The fee interest in the areas shown as a Dedicated Public Street on this Certified Survey Map (CSM) for 39th Avenue (County Trunk Highway EZ) and Springbrook Road located on Lot 1 are hereby dedicated, given, granted and conveyed by the Village of Pleasant Prairie, (the "Owner") to the Village of Pleasant Prairie and/or Kenosha County as it relates to jurisdiction, its successors and assigns for the construction, installation, repair, alteration, replacement, planting and maintenance of public highway improvements, uses and purposes, including, without limitation, pavement, curbs and gutters, bike lanes and sidewalks, if required by the Village or Kenosha County, street signs, street lights, street trees, sanitary sewerage system improvements, water system improvements, storm sewer and drainage system improvements, utility and communications facilities, street tree landscaping, and for all related ingress and egress, construction, installation, repair, alteration, replacement, planting and maintenance activities. Such fee interest is subject to the following: a nonexclusive easement hereby reserved by the Owner, which is adjacent to the Dedicated Public Street for the required planting, mowing, watering and maintenance of grass within the grassy terrace area, for the maintenance and replanting of street trees and the clearance, maintenance, and repair and replacement of bike lanes and sidewalks, if required by the Village or Kenosha County in the area between the roadway and the Lot. In the event of any conflict between the rights of the Village or Kenosha County under its fee interest in any of the Dedicated Public Street areas shown on this CSM and the rights of the Owner or of any easement holder pursuant to the dedications retained herein, the rights of the Village shall be deemed to be superior.

STORM WATER MANAGEMENT AND RETENTION BASIN RESTRICTIVE COVENANT AREA

The Village of Pleasant Prairie does hereby covenant the following restrictions associated with the area shown as a Storm Water Management and Retention Basin Restrictive Covenant Area on Sheet 3 of this CSM, for public storm water management purposes, private and public drainageways, and for all related construction, installation, repair, alteration, replacement, landscaping, maintenance and ingress and egress. This Storm Water Management and Retention Basin Restrictive Covenant Area shall be exclusive, except for: (1) such other easements as may be dedicated and conveyed herein with respect to the same area or any portion thereof; (2) such above-ground use, planting, care and maintenance responsibilities of the easement areas which shall be required as will not interfere with the improvements, uses and purposes of the Village as is related to this Storm Water Management and Retention Basin Restrictive Covenant Area; and (3) such future parking lots, driveways, curbs and gutters, sidewalks, landscaping, landscape islands or other uses of the restrictive covenant area as may be approved by the Village. In the event of any conflict between the rights of the Village and other entities with respect to the Storm Water Management and Retention Basin Restrictive Covenant area, the Village's rights under this restrictive covenant shall be deemed to be superior. The Village shall be responsible for all costs associated with the construction and maintenance of public storm water management, retention basin and drainage way improvements contained within this nonexclusive restrictive covenant area.



TERRANCE E. PISAREK
WISCONSIN REGISTERED LAND SURVEYOR, S-1930

CERTIFIED SURVEY MAP NO.

LOTS 1-7 OF ROLLING MEADOWS SUBDIVISION INCLUDING ACCESS ROAD AS VACATED IN V. 721 OF RECORDS, P. 105, DOC. 482267 AND LANDS LOCATED IN THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 24, TOWN 1 NORTH, RANGE 22 EAST, VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.

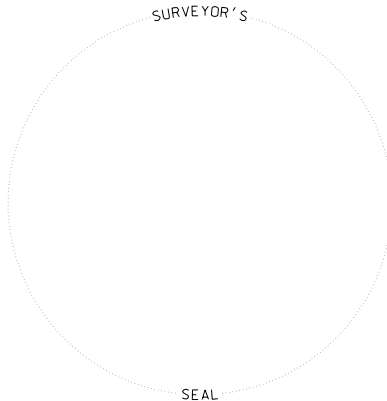
DEDICATED 5' UTILITY EASEMENT AND 12' DISTRIBUTION EASEMENT

A perpetual easement co-extensive with each area shown on this CSM as a Dedicated 5' or 12' Utility Easement or Distribution Easement are hereby dedicated, given, granted and conveyed by the Owner ("the Grantor") to We Energies a/k/a Wisconsin Electric Power Company, Ameritech and Time Warner Cable, Inc. and their respective successors and assigns (collectively, the "Utility and Communications Grantees"), for the purposes of constructing, installing, operating, repairing, altering, replacing and maintaining utility and communication lines and other related facilities to serve Lot 1 shown on this CSM in accordance with the Village-approved plans and for any related ingress and egress. To the extent possible, all such utility and communication lines and facilities shall be installed underground. These utility easements specifically include the right to trim or cut trees, brush or roots as may be reasonably possible, to the condition existing prior to such entry by the Grantees or their agents. These utility easements shall be exclusive, except for: (1) the corresponding utility easements dedicated herein to the other Utility and Communications Grantees; (2) such other easements as may be dedicated on this CSM with respect to the same area or any portion thereof; and (3) such use, planting, care and maintenance of the easement areas by the Owner of the Lot on which such easements are located as will not interfere with the improvements, uses and purposes of the Utility and Communications Grantees. No buildings or structures shall be placed within the utility easement areas by the Owner of the Lot on which such easements are located as will interfere with the improvements, uses and purposes of the Utility and Communication Grantees. In the event of any conflict between the rights of the Utility and Communication Grantees pursuant to the utility easements with respect to the Dedicated Utility Easement areas and the rights of the Village in such areas, the rights of the Village shall be deemed to be superior.

Source Documents:

5' Utility Easement: Plat of Rolling Meadows Subdivision.

12' Distribution Easement: Document 1290708.



TERRANCE E. PISAREK
WISCONSIN REGISTERED LAND SURVEYOR, S-1930

CERTIFIED SURVEY MAP NO.

LOTS 1-7 OF ROLLING MEADOWS SUBDIVISION INCLUDING ACCESS ROAD AS VACATED IN V. 721 OF RECORDS, P. 105, DOC. 482267 AND LANDS LOCATED IN THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 24, TOWN 1 NORTH, RANGE 22 EAST, VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE

I TERRANCE E. PISAREK, REGISTERED LAND SURVEYOR, HEREBY CERTIFY:

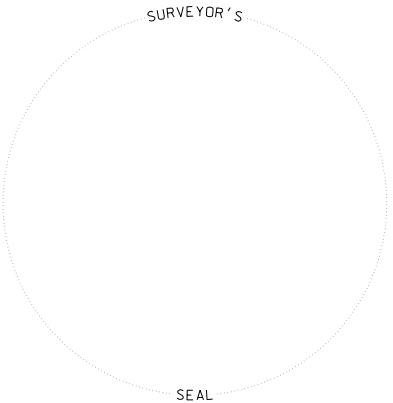
THAT I HAVE SURVEYED, DIVIDED AND MAPPED A PARCEL OF LAND BEING LOTS 1-7 OF ROLLING MEADOWS SUBDIVISION INCLUDING ACCESS ROAD AS VACATED IN V. 721 OF RECORDS, P. 105, DOC. 482267 AND LANDS LOCATED IN THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 24, TOWN 1 NORTH, RANGE 22 EAST, VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN, DESCRIBED AS FOLLOWS:

COMMENCING AT THE WEST 1/4 CORNER OF SAID SECTION 24; THENCE SOUTH 02°42'29" EAST, ALONG THE WEST LINE OF SAID SOUTHWEST 1/4, 772.95 FEET; THENCE NORTH 87°17'31"E, 45.00 FEET TO THE INTERSECTION OF THE EASTERLY LINE OF 39TH AVENUE (CTH EZ) WITH THE SOUTHEASTERLY LINE OF SPRINGBROOK ROAD (CTH ML) AND THE POINT OF BEGINNING; THENCE NORTH 26°49'02" EAST, ALONG SAID SOUTHEASTERLY RIGHT-OF-WAY LINE, 300.61 FEET; THENCE NORTH 57°03'51"EAST, ALONG SAID SOUTHEASTERLY RIGHT-OF-WAY LINE, 47.26 FEET; THENCE NORTH 41°38'53"EAST, ALONG SAID SOUTHEASTERLY RIGHT-OF-WAY LINE, 204.05 FEET; THENCE NORTH 30°16'10" EAST, ALONG SAID SOUTHEASTERLY RIGHT-OF-WAY LINE, 158.92 FEET; THENCE NORTH 45°58'28" EAST, ALONG SAID SOUTHEASTERLY RIGHT-OF-WAY LINE, 3.90 FEET; THENCE SOUTH 22°01'29" EAST, 597.12 FEET TO THE NORTHEAST CORNER OF LOT 8 OF SAID ROLLING MEADOWS SUBDIVISION; THENCE SOUTH 86°57'15" WEST, ALONG THE NORTH LINE OF SAID LOT 8, 188.32 FEET TO THE NORTHWEST CORNER OF SAID LOT 8; THENCE SOUTH 00°03'41" WEST, ALONG THE WEST LINE OF SAID LOT 8, 104.00 FEET TO A POINT ON THE 38TH AVENUE CUL-DE-SAC RIGHT-OF-WAY LINE; THENCE COUNTERCLOCKWISE, 188.52 FEET, ALONG SAID CUL-DE-SAC RIGHT-OF-WAY LINE AND THE ARC OF CURVE WHOSE CENTER LIES TO THE SOUTHWEST, WHOSE RADIUS IS 60.00 FEET, WHOSE INTERIOR ANGLE MEASURES 180°01'14" AND WHOSE CHORD BEARS SOUTH 29°43'08" WEST, 120.00 FEET; THENCE SOUTHEASTERLY, 62.83 FEET, ALONG SAID CUL-DE-SAC RIGHT-OF-WAY LINE AND THE ARC OF CURVE WHOSE CENTER LIES TO THE SOUTHWEST, WHOSE RADIUS IS 60.00 FEET, WHOSE INTERIOR ANGLE MEASURES 60°00'00" AND WHOSE CHORD BEARS SOUTH 30°17'29" EAST, 60.00.00 FEET; THENCE SOUTH 00°17'29" EAST, ALONG THE WESTERLY RIGHT-OF-WAY LINE OF SAID 38TH AVENUE, 45.18 FEET; THENCE SOUTHERLY, 70.50 FEET ALONG SAID WESTERLY RIGHT-OF-WAY LINE AND THE ARC OF CURVE WHOSE CENTER LIES TO THE EAST, WHOSE RADIUS IS 134.64 FEET, WHOSE INTERIOR ANGLE MEASURES 30°00'00" AND WHOSE CHORD BEARS SOUTH 15°17'29" EAST, 69.70 FEET; THENCE SOUTH 30°17'29" EAST, ALONG SAID WESTERLY RIGHT-OF-WAY LINE, 55.00 FEET TO THE NORTHERLY RIGHT-OF-WAY LINE OF 100TH STREET; THENCE SOUTH 59°42'31" WEST, ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, 173.20 FEET; THENCE WESTERLY, 110.76 FEET ALONG SAID NORTHERLY RIGHT-OF-WAY LINE AND THE ARC OF A CURVE WHOSE CENTER LIES TO THE NORTH, WHOSE RADIUS IS 110.76 FEET, WHOSE INTERIOR ANGLE MEASURES 30°03'00" AND WHOSE CHORD BEARS SOUTH 74°44'01" WEST, 57.43 FEET; THENCE SOUTH 89°45'31" WEST, ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, 218.07 FEET TO THE EASTERLY RIGHT-OF-WAY LINE OF SAID 39TH AVENUE; THENCE NORTH 02°42'29" WEST, ALONG SAID EASTERLY RIGHT-OF-WAY LINE, 501.02 FEET TO THE POINT OF BEGINNING. DEDICATING LAND ALONG 39TH AVENUE (CTH EZ) AND ALONG SPRINGBROOK ROAD, TO THE PUBLIC FOR STREET PURPOSES AS SHOWN ON SHEET 1 OF THIS MAP, CONTAINING 353,919 SQUARE FEET (8.125 ACRES) OF LAND MORE OR LESS EXCLUSIVE OF LAND DEDICATED FOR PUBLIC STREET PURPOSES..

THAT I HAVE MADE THIS SURVEY, LAND DIVISION AND MAP BY THE DIRECTION OF THE VILLAGE OF PLEASANT PRAIRIE, OWNER. THAT THE MAP IS A CORRECT REPRESENTATION OF ALL THE EXTERIOR BOUNDARIES OF THE LAND SURVEYED AND THE DIVISION THEREOF MADE. THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF CHAPTER 236.34 OF THE WISCONSIN STATUTES AND THE LAND DIVISION AND DEVELOPMENT CONTROL ORDINANCE OF THE VILLAGE OF PLEASANT PRAIRIE IN SURVEYING, DIVIDING AND MAPPING THE SAME.

DATED THIS _____ DAY OF _____, 2014.

TERRANCE E. PISAREK, R.L.S. 1930



CERTIFIED SURVEY MAP NO. _____

LOTS 1-7 OF ROLLING MEADOWS SUBDIVISION INCLUDING ACCESS ROAD AS VACATED IN V. 721 OF RECORDS, P. 105, DOC. 482267 AND LANDS LOCATED IN THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 24, TOWN 1 NORTH, RANGE 22 EAST, VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.

OWNER'S CERTIFICATE

THE VILLAGE OF PLEASANT PRAIRIE, AS OWNER, DOES HEREBY CERTIFY THAT IT HAS CAUSED THE LAND DESCRIBED ON THIS MAP TO BE SURVEYED, DIVIDED, MAPPED AND DEDICATED AS REPRESENTED ON THIS CERTIFIED SURVEY MAP. IT DOES FURTHER CERTIFY THAT THIS CERTIFIED SURVEY MAP IS REQUIRED BY S.236.10 OR S.236.12 TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL:

VILLAGE BOARD OF PLEASANT PRAIRIE

WITNESS THE HAND AND SEAL OF SAID OWNER

JOHN P. STEINBRINK, VILLAGE PRESIDENT

THIS _____ DAY OF _____, 2014.

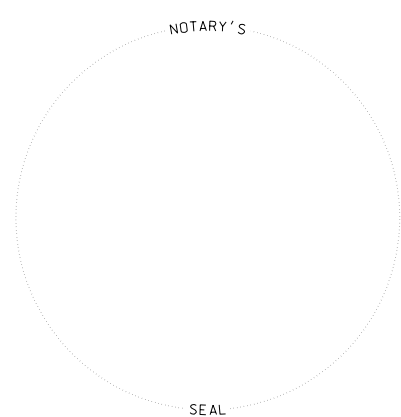
STATE OF WISCONSIN)
KENOSHA COUNTY) SS

PERSONALLY CAME BEFORE ME THIS _____ DAY OF _____, 2014, THE ABOVE NAMED JOHN P. STEINBRINK, TO ME KNOWN TO BE THE PERSON WHO EXECUTED THE ABOVE AND FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME TO ME.

PRINT NAME

NOTARY PUBLIC, KENOSHA COUNTY, STATE OF WISCONSIN

MY COMMISSION EXPIRES



PLAN COMMISSION APPROVAL

APPROVED BY THE PLAN COMMISSION OF THE VILLAGE OF PLEASANT PRAIRIE ON

THIS _____ DAY OF _____, 2014.

THOMAS W. TERWALL, CHAIRMAN

VILLAGE BOARD APPROVAL

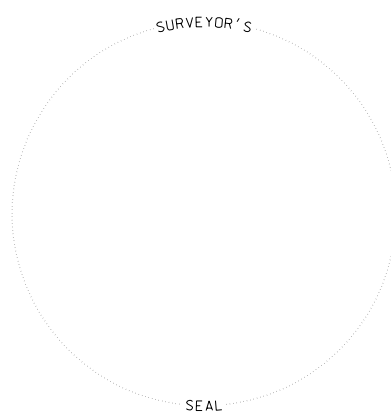
APPROVED BY THE VILLAGE BOARD OF PLEASANT PRAIRIE ON

THIS _____ DAY OF _____, 2014.

JOHN P. STEINBRINK, VILLAGE PRESIDENT

ATTEST:

JANE M. ROMANOWSKI, VILLAGE CLERK



gai consultants

TERRANCE E. PISAREK
WISCONSIN REGISTERED LAND SURVEYOR, S-1930